

Memorandum to the City of Markham Committee of Adjustment

June 19, 2018

File: A/51/18
Address: 575 Cochrane Dr Markham
Owner: Northland Properties Corporation
Applicant: Pacific Coast Architecture Inc.
Hearing Date: Wednesday June 27, 2018

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 165-80, as amended to permit:

a) Parking By-law 28-97, Table B:

a minimum of 264 parking spaces, whereas the By-law requires a minimum of 315 parking spaces; as it relates to a proposed hotel, restaurant and banquet centre.

Background:

The application relates to an associated Site Plan application (File No. SC 17 115752) for a proposed 230 room hotel, restaurant and banquet centre complex. The complex has a total Gross Floor Area of 12,146 m² (130,733 ft²), which includes an integrated restaurant and banquet room. This parking deficiency was identified by Zoning staff through their review of the associated Site Plan application.

Transportation Engineering staff have reviewed a Parking Justification Study prepared by EASL Transportation Consultants Inc., in support of the site plan and minor variance applications. The study concluded that the proposed parking supply is sufficient to meet the parking demands for the proposed development. In addition, due to the site's proximity to transit and active transportation opportunities, Transportation Engineering staff is of the opinion that the proposed reduction in parking supply can be supported.

PUBLIC INPUT SUMMARY

No written submissions were received as of June 19, 2019.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and have no concerns with this application. The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:


Rick Cefaratti, MCIP, RPP, Planner II, West District

REVIEWED BY:


David Miller, MCIP, RPP, West District Manager

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/51/18

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report and dated July 20, 2015, with a last revision date of April 16, 2018, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

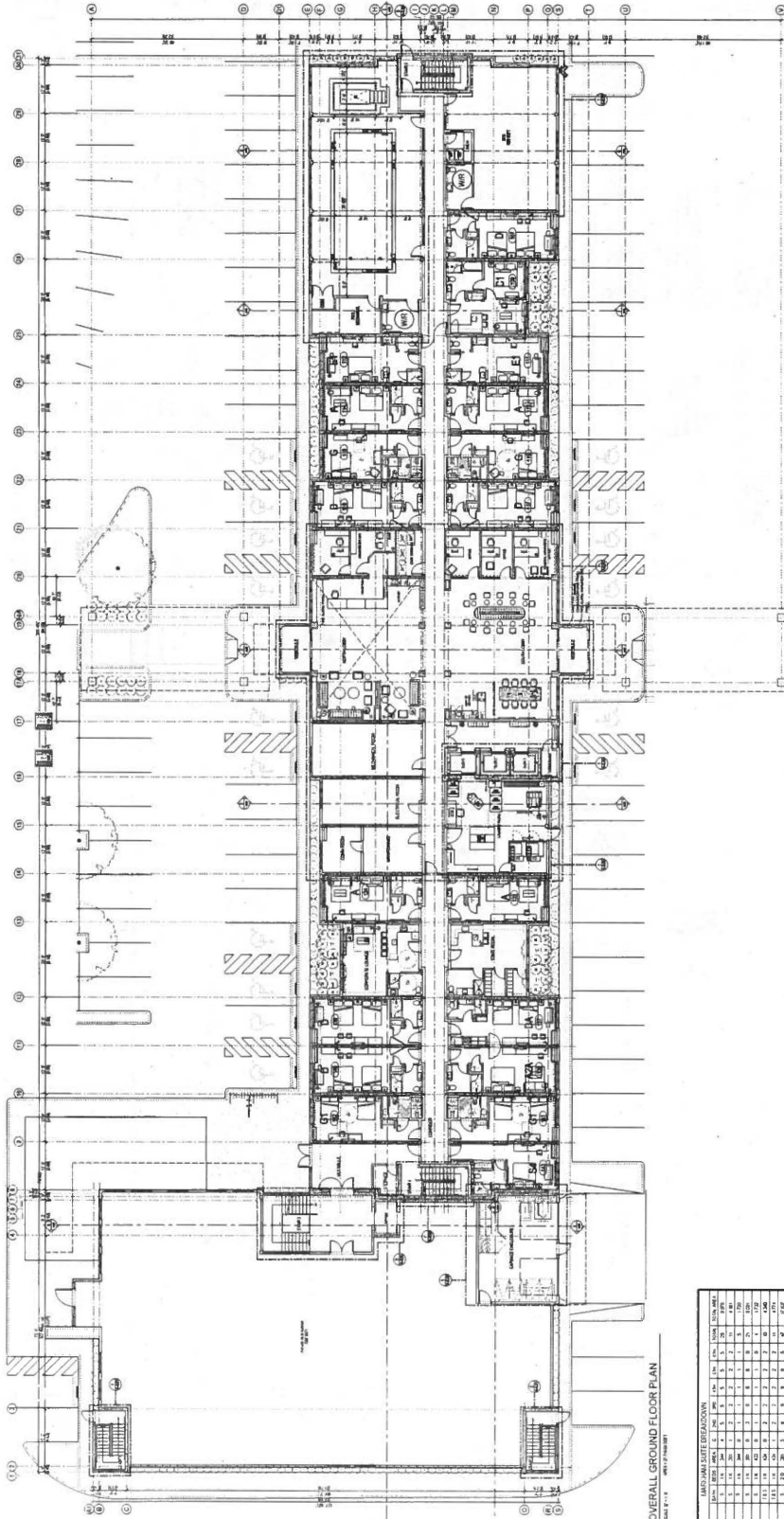
CONDITIONS PREPARED BY:



Rick Cefaratti, MCIP, RPP, Planner II, West District



PROJECT
NO. 1001
NORTH



OVERALL GROUND FLOOR PLAN

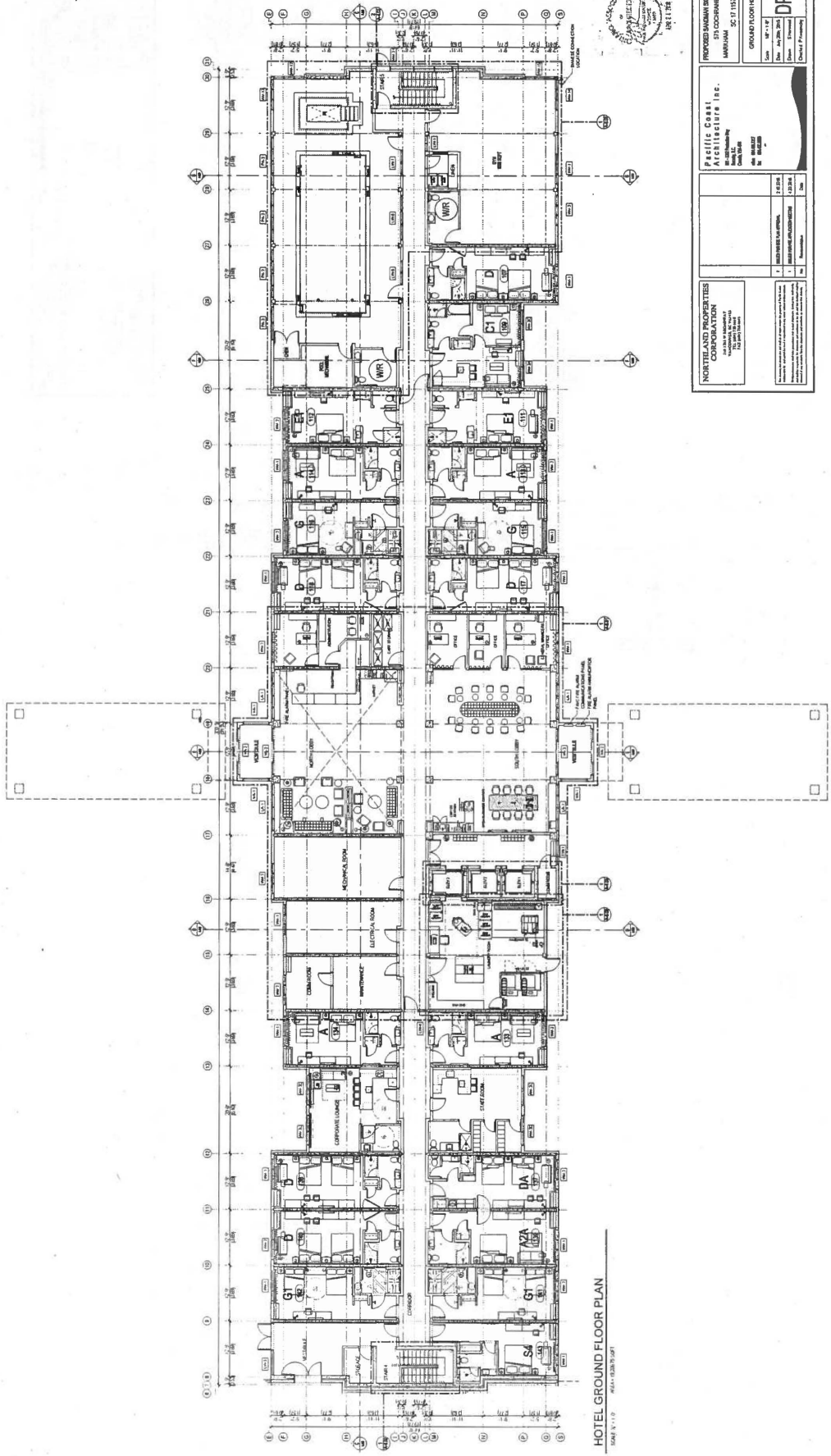
DATE: 8-1-10

NO.	DESCRIPTION	AREA (SQ. FT.)	PERCENTAGE	TOTAL AREA (SQ. FT.)
1	OFFICE	1,200	10.0	12,000
2	CONFERENCE	1,000	8.3	12,000
3	RECEPTION	500	4.2	12,000
4	STORAGE	1,500	12.5	12,000
5	RESTROOM	200	1.7	12,000
6	STAIR	1,000	8.3	12,000
7	ELEVATOR	100	0.8	12,000
8	MECHANICAL	1,000	8.3	12,000
9	UTILITY	1,000	8.3	12,000
10	LOBBY	1,000	8.3	12,000
11	ENTRY	1,000	8.3	12,000
12	EXIT	1,000	8.3	12,000
13	MECHANICAL	1,000	8.3	12,000
14	MECHANICAL	1,000	8.3	12,000
15	MECHANICAL	1,000	8.3	12,000
16	MECHANICAL	1,000	8.3	12,000
17	MECHANICAL	1,000	8.3	12,000
18	MECHANICAL	1,000	8.3	12,000
19	MECHANICAL	1,000	8.3	12,000
20	MECHANICAL	1,000	8.3	12,000
21	MECHANICAL	1,000	8.3	12,000
22	MECHANICAL	1,000	8.3	12,000
23	MECHANICAL	1,000	8.3	12,000
24	MECHANICAL	1,000	8.3	12,000
25	MECHANICAL	1,000	8.3	12,000
26	MECHANICAL	1,000	8.3	12,000
27	MECHANICAL	1,000	8.3	12,000
28	MECHANICAL	1,000	8.3	12,000
29	MECHANICAL	1,000	8.3	12,000
30	MECHANICAL	1,000	8.3	12,000
31	MECHANICAL	1,000	8.3	12,000
32	MECHANICAL	1,000	8.3	12,000
33	MECHANICAL	1,000	8.3	12,000
34	MECHANICAL	1,000	8.3	12,000
35	MECHANICAL	1,000	8.3	12,000
36	MECHANICAL	1,000	8.3	12,000
37	MECHANICAL	1,000	8.3	12,000
38	MECHANICAL	1,000	8.3	12,000
39	MECHANICAL	1,000	8.3	12,000
40	MECHANICAL	1,000	8.3	12,000
41	MECHANICAL	1,000	8.3	12,000
42	MECHANICAL	1,000	8.3	12,000
43	MECHANICAL	1,000	8.3	12,000
44	MECHANICAL	1,000	8.3	12,000
45	MECHANICAL	1,000	8.3	12,000
46	MECHANICAL	1,000	8.3	12,000
47	MECHANICAL	1,000	8.3	12,000
48	MECHANICAL	1,000	8.3	12,000
49	MECHANICAL	1,000	8.3	12,000
50	MECHANICAL	1,000	8.3	12,000
51	MECHANICAL	1,000	8.3	12,000
52	MECHANICAL	1,000	8.3	12,000
53	MECHANICAL	1,000	8.3	12,000
54	MECHANICAL	1,000	8.3	12,000
55	MECHANICAL	1,000	8.3	12,000
56	MECHANICAL	1,000	8.3	12,000
57	MECHANICAL	1,000	8.3	12,000
58	MECHANICAL	1,000	8.3	12,000
59	MECHANICAL	1,000	8.3	12,000
60	MECHANICAL	1,000	8.3	12,000
61	MECHANICAL	1,000	8.3	12,000
62	MECHANICAL	1,000	8.3	12,000
63	MECHANICAL	1,000	8.3	12,000
64	MECHANICAL	1,000	8.3	12,000
65	MECHANICAL	1,000	8.3	12,000
66	MECHANICAL	1,000	8.3	12,000
67	MECHANICAL	1,000	8.3	12,000
68	MECHANICAL	1,000	8.3	12,000
69	MECHANICAL	1,000	8.3	12,000
70	MECHANICAL	1,000	8.3	12,000
71	MECHANICAL	1,000	8.3	12,000
72	MECHANICAL	1,000	8.3	12,000
73	MECHANICAL	1,000	8.3	12,000
74	MECHANICAL	1,000	8.3	12,000
75	MECHANICAL	1,000	8.3	12,000
76	MECHANICAL	1,000	8.3	12,000
77	MECHANICAL	1,000	8.3	12,000
78	MECHANICAL	1,000	8.3	12,000
79	MECHANICAL	1,000	8.3	12,000
80	MECHANICAL	1,000	8.3	12,000
81	MECHANICAL	1,000	8.3	12,000
82	MECHANICAL	1,000	8.3	12,000
83	MECHANICAL	1,000	8.3	12,000
84	MECHANICAL	1,000	8.3	12,000
85	MECHANICAL	1,000	8.3	12,000
86	MECHANICAL	1,000	8.3	12,000
87	MECHANICAL	1,000	8.3	12,000
88	MECHANICAL	1,000	8.3	12,000
89	MECHANICAL	1,000	8.3	12,000
90	MECHANICAL	1,000	8.3	12,000
91	MECHANICAL	1,000	8.3	12,000
92	MECHANICAL	1,000	8.3	12,000
93	MECHANICAL	1,000	8.3	12,000
94	MECHANICAL	1,000	8.3	12,000
95	MECHANICAL	1,000	8.3	12,000
96	MECHANICAL	1,000	8.3	12,000
97	MECHANICAL	1,000	8.3	12,000
98	MECHANICAL	1,000	8.3	12,000
99	MECHANICAL	1,000	8.3	12,000
100	MECHANICAL	1,000	8.3	12,000

PACIFIC COAST ARCHITECTS INC.
 1001 MARKET STREET, SUITE 1000
 SAN FRANCISCO, CA 94102
 TEL: 415.398.1000
 FAX: 415.398.1001
 WWW.PACIFICCOASTARCHITECTS.COM

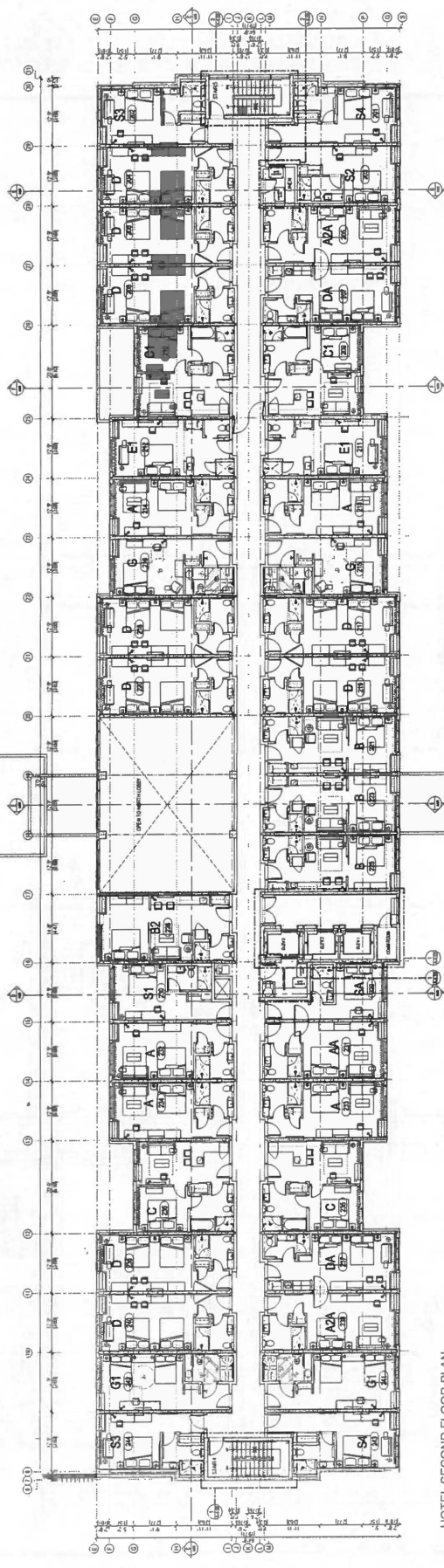
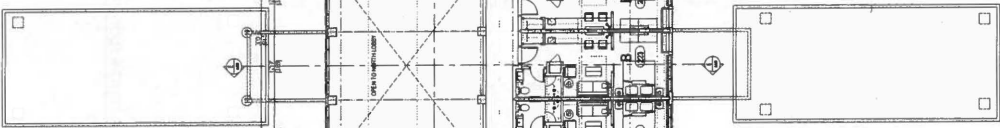
NORFOLK PROPERTIES CORPORATION
 1001 MARKET STREET, SUITE 1000
 SAN FRANCISCO, CA 94102
 TEL: 415.398.1000
 FAX: 415.398.1001
 WWW.NORFOLKPROPERTIES.COM

PROPOSED MARINA CENTER HOTEL
 1001 MARKET STREET, SUITE 1000
 SAN FRANCISCO, CA 94102
 PROJECT NO. 1001
 DATE: 8-1-10
 DRAWING NO. DP-1.01
 SHEET NO. 1 OF 1



HOTEL GROUND FLOOR PLAN
DATE: 11/15/10
SCALE: 1/8" = 1'-0"

PACIFIC COAST ARCHITECTURAL FIRM, INC. 10000 WILSON BLVD., SUITE 100 SAN DIEGO, CA 92121 TEL: 619-594-1100 FAX: 619-594-1101		PROJECT: HOTEL GROUND FLOOR PLAN DATE: 11/15/10 SCALE: 1/8" = 1'-0"
NOTES AND PRIORITIES CORPORATION 10000 WILSON BLVD., SUITE 100 SAN DIEGO, CA 92121 TEL: 619-594-1100 FAX: 619-594-1101		CLIENT: PACIFIC COAST ARCHITECTURAL FIRM, INC. DATE: 11/15/10 SCALE: 1/8" = 1'-0"
REVISIONS: 1. 11/15/10: INITIAL DESIGN 2. 11/15/10: REVISIONS		PROJECT NO.: DP-1.03 DATE: 11/15/10 SCALE: 1/8" = 1'-0"



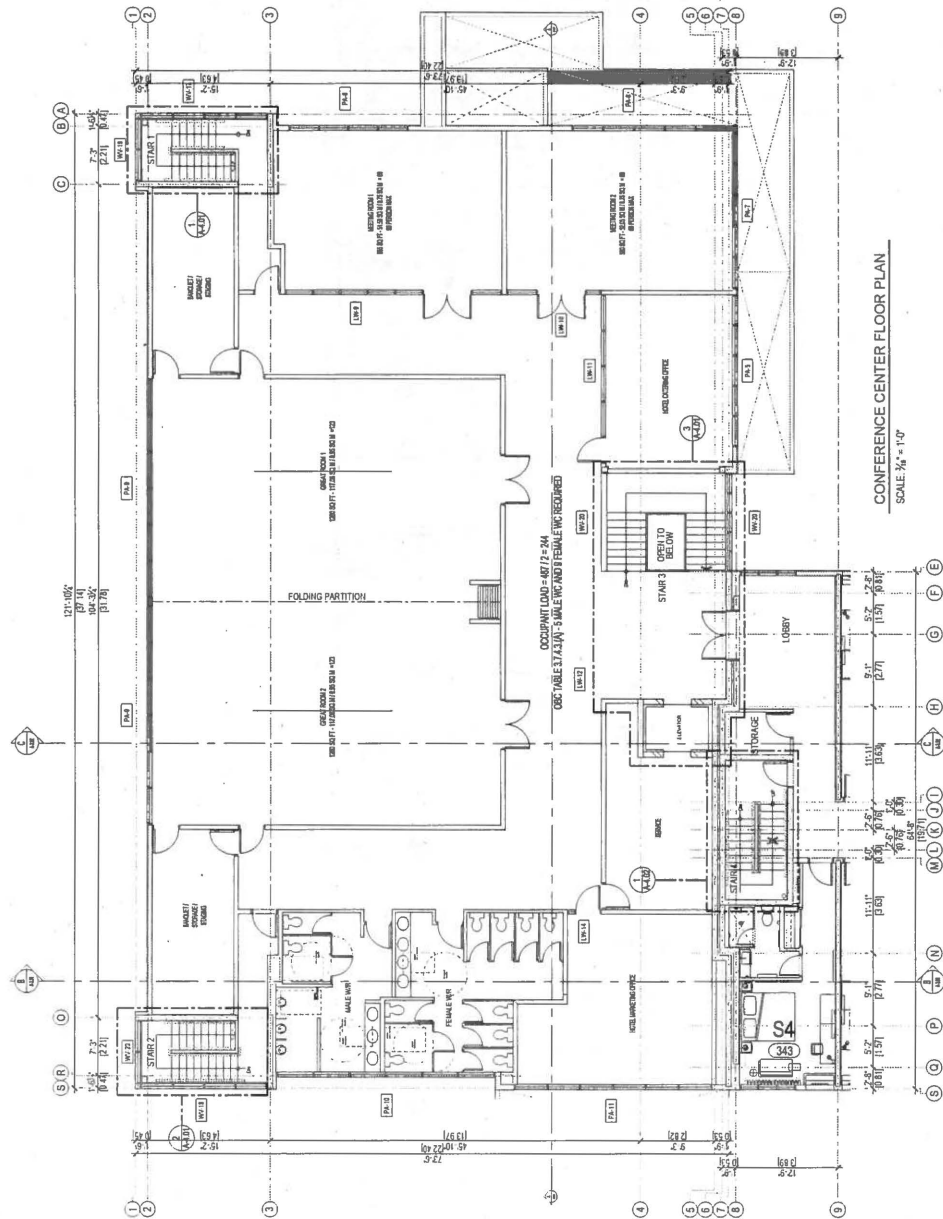
HOTEL SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



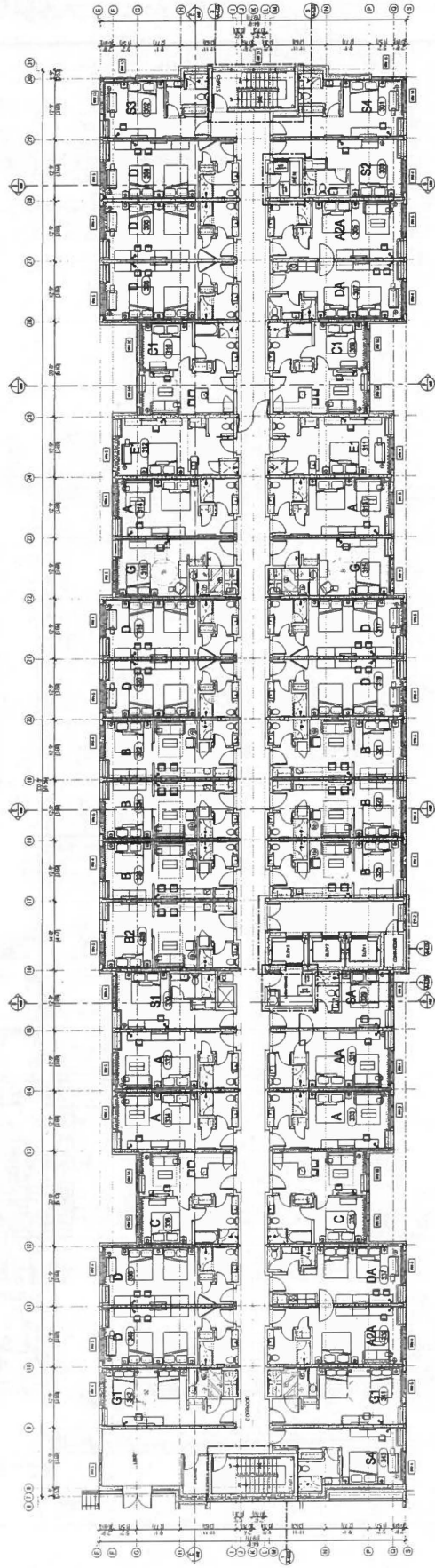
Pacific Coast Architects Inc. 4000 Wilshire Blvd., Suite 1000 Beverly Hills, CA 90210 Tel: 310-274-1111 Fax: 310-274-1112		PROJECT: HAWAIIAN SPANISH HOTEL ARCHITECT: PACIFIC COAST ARCHITECTS INC. LOCATION: HAWAIIAN ISLANDS SHEET: SC 17 (15) OF 15
NORTH HAWAII PROPERTIES CORPORATION 1000 Kalia Road, Suite 1000 Honolulu, HI 96813 Tel: 808-941-1111 Fax: 808-941-1112		HOTEL SECOND FLOOR PLAN Date: 10/1/1998 Drawn: J. Smith Checked: J. Smith Project No.: DP-1.04
NO. 10000 10/1/1998	STATE OF CALIFORNIA PROFESSIONAL ENGINEER	DATE: 10/1/1998 DRAWN: J. SMITH CHECKED: J. SMITH



NORTLAND PROPERTIES CORPORATION 4400 VAN NESS BLVD. SAN FRANCISCO, CA 94133 (415) 761-1100	Pacific Coast Architects Inc. 1000 Market Street San Francisco, CA 94102 (415) 398-7000	PROJECT MANAGER MARIANO SC 17 11570	DATE 2007-10-18
		ARCHITECT ASSOCIATE ARCHITECT DATE: 2007-10-18	SCALE 1/8" = 1'-0"
CONFERENCE CENTER FLOOR PLAN		DATE 2007-10-18	SCALE 1/8" = 1'-0"



CONFERENCE CENTER FLOOR PLAN
SCALE: 1/8" = 1'-0"

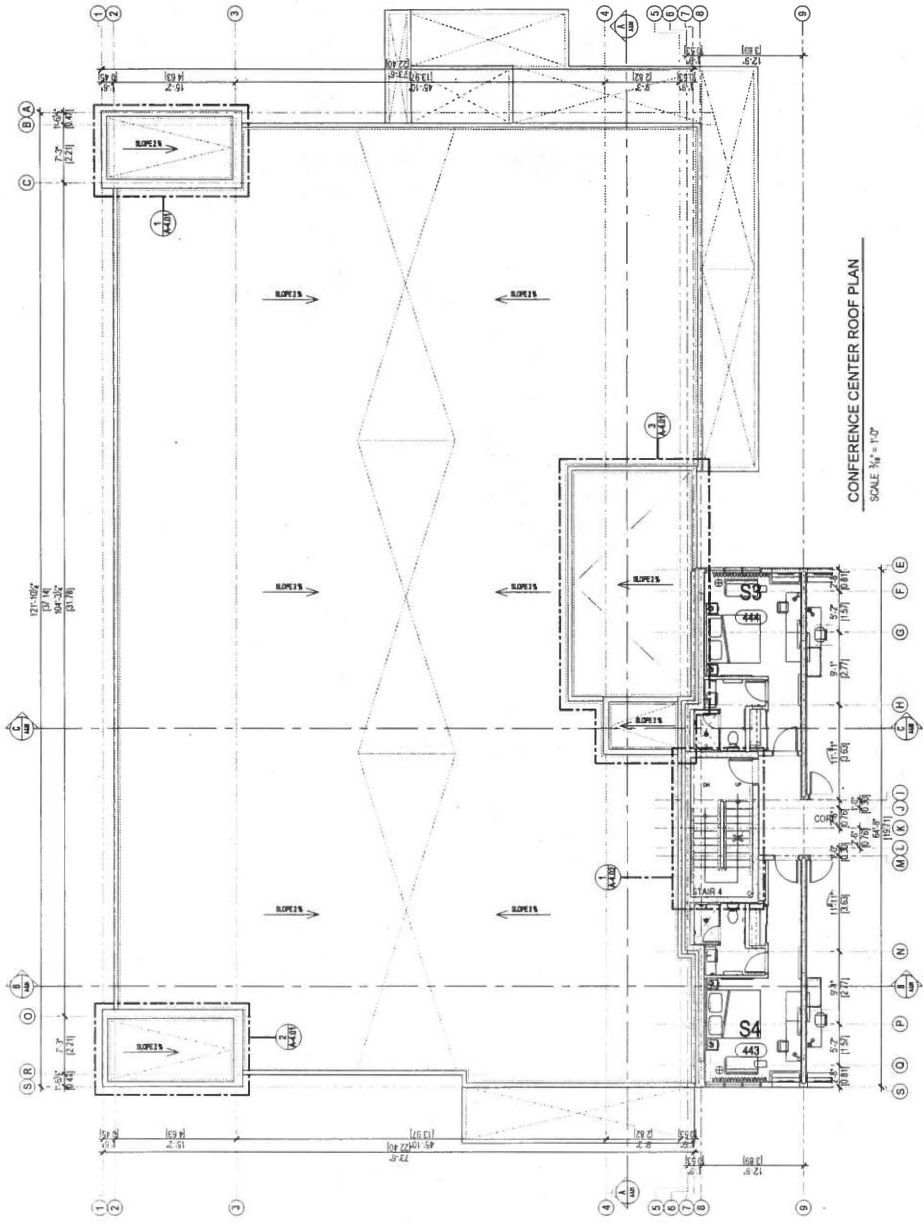


HOTEL 3RD FLOOR PLAN
SCALE 3/8" = 1'-0"

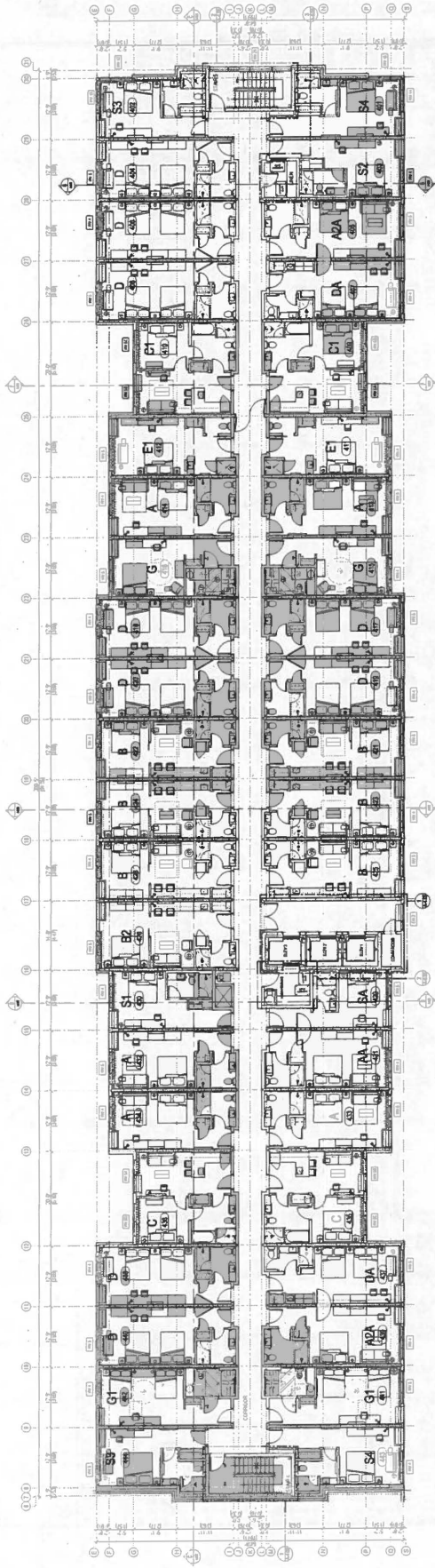
<p>NORTLAND PROPERTIES 1000 BAY STREET SAN FRANCISCO, CA 94133 TEL: 415.774.1000 WWW.NORTLANDPROPERTIES.COM</p>		<p>Pacific Coast Architects Inc. 1000 BAY STREET SAN FRANCISCO, CA 94133 TEL: 415.774.1000 WWW.PACIFICCOASTARCHITECTS.COM</p>	
<p>PROPOSED IMMEDIATE HOTEL 1000 BAY STREET SAN FRANCISCO, CA 94133</p>		<p>HOTEL THIRD FLOOR PLAN DATE: 08/20/2014 DRAWN: JMK CHECKED: JMK DESIGN: JMK</p>	
<p>NO. 10000 JEFFREY M. KELLY MECHANICAL</p>		<p>DP-1.06</p>	



PROPOSED DAVANAN BROWNE HOTEL 4400 CALIFORNIA STREET, OAKLAND ALBUQUERQUE, NM 87115-1222		Date: 04/11/07 Drawn: [Name] Checked: [Name]	
Pacific Coast Architectural Group, Inc. 1000 Broadway, Suite 100 San Francisco, CA 94107 Tel: 415.774.1100 Fax: 415.774.1101		CONFERENCE CENTER ROOF PLAN Scale: 3/4" = 1'-0" Date: 04/11/07 Drawn: [Name] Checked: [Name]	
NORRIS LAND ACQUISITION CORPORATION 1000 California Street, Suite 100 San Francisco, CA 94107 Tel: 415.774.1100 Fax: 415.774.1101		DP-1.07 Sheet No. 1 of 1	

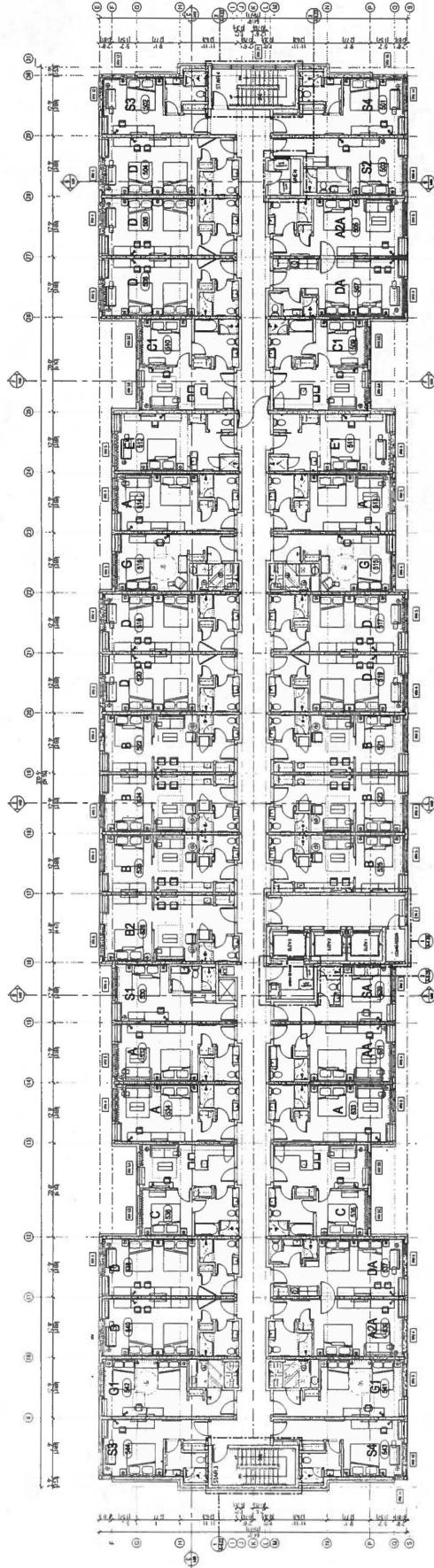


CONFERENCE CENTER ROOF PLAN
 SCALE: 3/4" = 1'-0"



HOTEL 4th FLOOR PLAN
SCALE 1/8" = 1'-0"

<p>NORTHLAND PROPERTIES 1000 1st Avenue Seattle, WA 98101 Tel: 206.461.1000 Fax: 206.461.1001</p>		<p>Pacific Crest Architects Inc. 1000 1st Avenue Seattle, WA 98101 Tel: 206.461.1000 Fax: 206.461.1001</p>	
<p>PROPOSED DAKOTA SIGNATURE HOTEL 1000 1st Avenue SEASIDE, WASHINGTON WASHINGTON DC 98101 No. 17119732</p>		<p>HOTEL FLOOR PLAN 04/11/18</p>	
<p>Scale: 1/8" = 1'-0"</p>	<p>Date: 04/11/18</p>	<p>Drawn: J. Smith</p>	<p>Checked: P. Johnson</p>
<p>1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.</p>		<p>2. ALL ROOMS SHALL BE ACCESSIBLE TO THE HANDICAPPED.</p>	
<p>NO. 1</p>	<p>DATE</p>	<p>NO. 2</p>	<p>DATE</p>
<p>NO. 3</p>	<p>DATE</p>	<p>NO. 4</p>	<p>DATE</p>
<p>NO. 5</p>	<p>DATE</p>	<p>NO. 6</p>	<p>DATE</p>
<p>NO. 7</p>	<p>DATE</p>	<p>NO. 8</p>	<p>DATE</p>
<p>NO. 9</p>	<p>DATE</p>	<p>NO. 10</p>	<p>DATE</p>
<p>NO. 11</p>	<p>DATE</p>	<p>NO. 12</p>	<p>DATE</p>
<p>NO. 13</p>	<p>DATE</p>	<p>NO. 14</p>	<p>DATE</p>
<p>NO. 15</p>	<p>DATE</p>	<p>NO. 16</p>	<p>DATE</p>
<p>NO. 17</p>	<p>DATE</p>	<p>NO. 18</p>	<p>DATE</p>
<p>NO. 19</p>	<p>DATE</p>	<p>NO. 20</p>	<p>DATE</p>
<p>NO. 21</p>	<p>DATE</p>	<p>NO. 22</p>	<p>DATE</p>
<p>NO. 23</p>	<p>DATE</p>	<p>NO. 24</p>	<p>DATE</p>
<p>NO. 25</p>	<p>DATE</p>	<p>NO. 26</p>	<p>DATE</p>
<p>NO. 27</p>	<p>DATE</p>	<p>NO. 28</p>	<p>DATE</p>
<p>NO. 29</p>	<p>DATE</p>	<p>NO. 30</p>	<p>DATE</p>
<p>NO. 31</p>	<p>DATE</p>	<p>NO. 32</p>	<p>DATE</p>
<p>NO. 33</p>	<p>DATE</p>	<p>NO. 34</p>	<p>DATE</p>
<p>NO. 35</p>	<p>DATE</p>	<p>NO. 36</p>	<p>DATE</p>
<p>NO. 37</p>	<p>DATE</p>	<p>NO. 38</p>	<p>DATE</p>
<p>NO. 39</p>	<p>DATE</p>	<p>NO. 40</p>	<p>DATE</p>
<p>NO. 41</p>	<p>DATE</p>	<p>NO. 42</p>	<p>DATE</p>
<p>NO. 43</p>	<p>DATE</p>	<p>NO. 44</p>	<p>DATE</p>
<p>NO. 45</p>	<p>DATE</p>	<p>NO. 46</p>	<p>DATE</p>
<p>NO. 47</p>	<p>DATE</p>	<p>NO. 48</p>	<p>DATE</p>
<p>NO. 49</p>	<p>DATE</p>	<p>NO. 50</p>	<p>DATE</p>
<p>NO. 51</p>	<p>DATE</p>	<p>NO. 52</p>	<p>DATE</p>
<p>NO. 53</p>	<p>DATE</p>	<p>NO. 54</p>	<p>DATE</p>
<p>NO. 55</p>	<p>DATE</p>	<p>NO. 56</p>	<p>DATE</p>
<p>NO. 57</p>	<p>DATE</p>	<p>NO. 58</p>	<p>DATE</p>
<p>NO. 59</p>	<p>DATE</p>	<p>NO. 60</p>	<p>DATE</p>
<p>NO. 61</p>	<p>DATE</p>	<p>NO. 62</p>	<p>DATE</p>
<p>NO. 63</p>	<p>DATE</p>	<p>NO. 64</p>	<p>DATE</p>
<p>NO. 65</p>	<p>DATE</p>	<p>NO. 66</p>	<p>DATE</p>
<p>NO. 67</p>	<p>DATE</p>	<p>NO. 68</p>	<p>DATE</p>
<p>NO. 69</p>	<p>DATE</p>	<p>NO. 70</p>	<p>DATE</p>
<p>NO. 71</p>	<p>DATE</p>	<p>NO. 72</p>	<p>DATE</p>
<p>NO. 73</p>	<p>DATE</p>	<p>NO. 74</p>	<p>DATE</p>
<p>NO. 75</p>	<p>DATE</p>	<p>NO. 76</p>	<p>DATE</p>
<p>NO. 77</p>	<p>DATE</p>	<p>NO. 78</p>	<p>DATE</p>
<p>NO. 79</p>	<p>DATE</p>	<p>NO. 80</p>	<p>DATE</p>
<p>NO. 81</p>	<p>DATE</p>	<p>NO. 82</p>	<p>DATE</p>
<p>NO. 83</p>	<p>DATE</p>	<p>NO. 84</p>	<p>DATE</p>
<p>NO. 85</p>	<p>DATE</p>	<p>NO. 86</p>	<p>DATE</p>
<p>NO. 87</p>	<p>DATE</p>	<p>NO. 88</p>	<p>DATE</p>
<p>NO. 89</p>	<p>DATE</p>	<p>NO. 90</p>	<p>DATE</p>
<p>NO. 91</p>	<p>DATE</p>	<p>NO. 92</p>	<p>DATE</p>
<p>NO. 93</p>	<p>DATE</p>	<p>NO. 94</p>	<p>DATE</p>
<p>NO. 95</p>	<p>DATE</p>	<p>NO. 96</p>	<p>DATE</p>
<p>NO. 97</p>	<p>DATE</p>	<p>NO. 98</p>	<p>DATE</p>
<p>NO. 99</p>	<p>DATE</p>	<p>NO. 100</p>	<p>DATE</p>

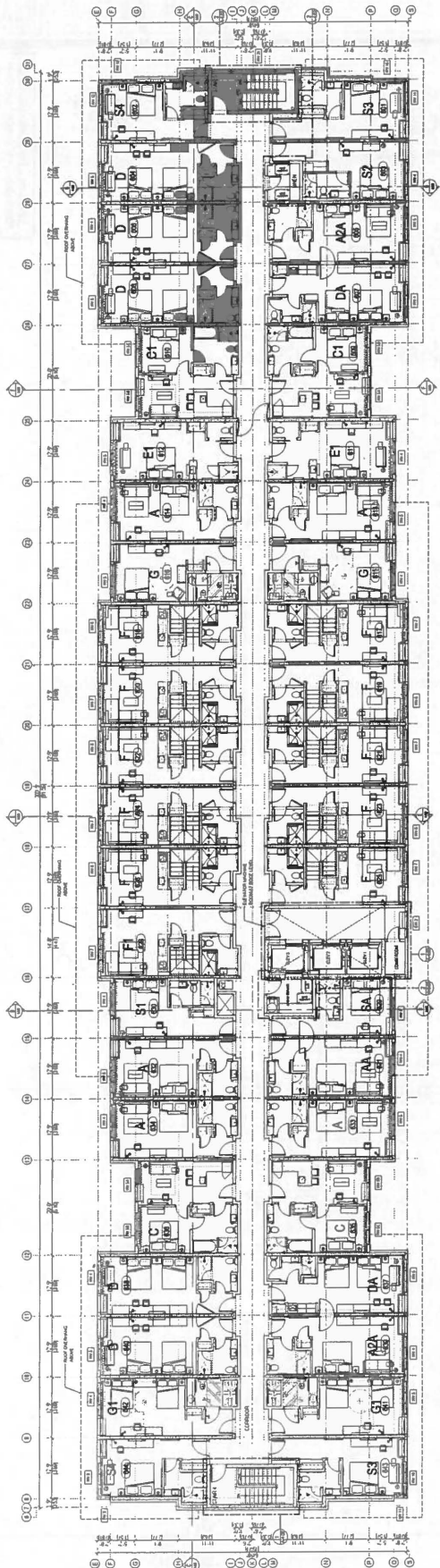


HOTEL 5th FLOOR PLAN
SCALE 1/8" = 1'-0"

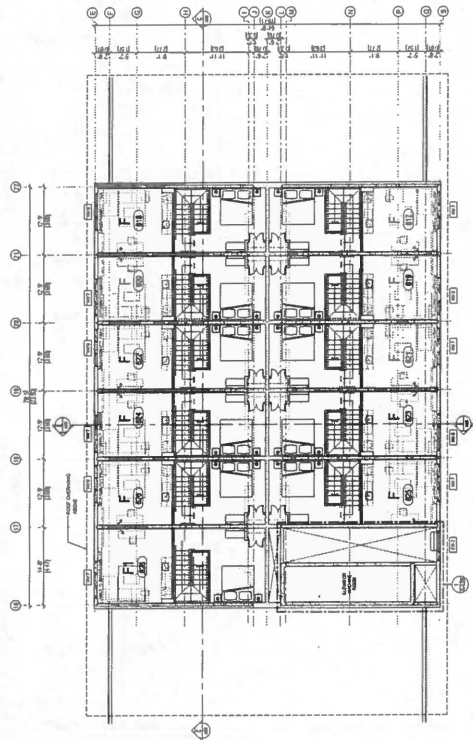
<p>PACIFIC CASEL ARCHITECTS INC. 300 SOUTH MAIN ST. SAN FRANCISCO, CALIF. 94104 TELEPHONE 398-1234</p>		<p>PROPOSED HAWAIIANISSE HOTEL 2500 KALANIAN'OLEKI DR. HONOLULU, HAWAII 96813</p>	
<p>NORTHLAND PROPERTIES CORPORATION 1000 ALLOA DRIVE HONOLULU, HAWAII 96813</p>		<p>HOTEL 5th FLOOR PLAN</p>	
<p>DATE: JAN 15, 1978</p>	<p>BY: [Signature]</p>	<p>DATE: JAN 15, 1978</p>	<p>BY: [Signature]</p>
<p>PROJECT NO. 100</p>		<p>DP-1.09</p>	



NORTHEAST PROPERTIES CORPORATION 1000 NE 10th Street Portland, OR 97232		Pacific Coast Mechanical Engineers Inc. 1000 NE 10th Street Portland, OR 97232	
PROPOSED HAWAII BOWTIE HOTEL 1000 NE 10th Street PORTLAND, OR 97232		HOTEL 6TH FLOOR MELOTT PLAN Date: Jan 20, 2011 Drawn: [Blank] Checked: [Blank]	
SHEET NO. DP-1.10		OF 1	



HOTEL 6th FLOOR PLAN
SCALE 1/8" = 1'-0"



HOTEL 6th FLOOR LOFT PLAN
SCALE 1/8" = 1'-0"

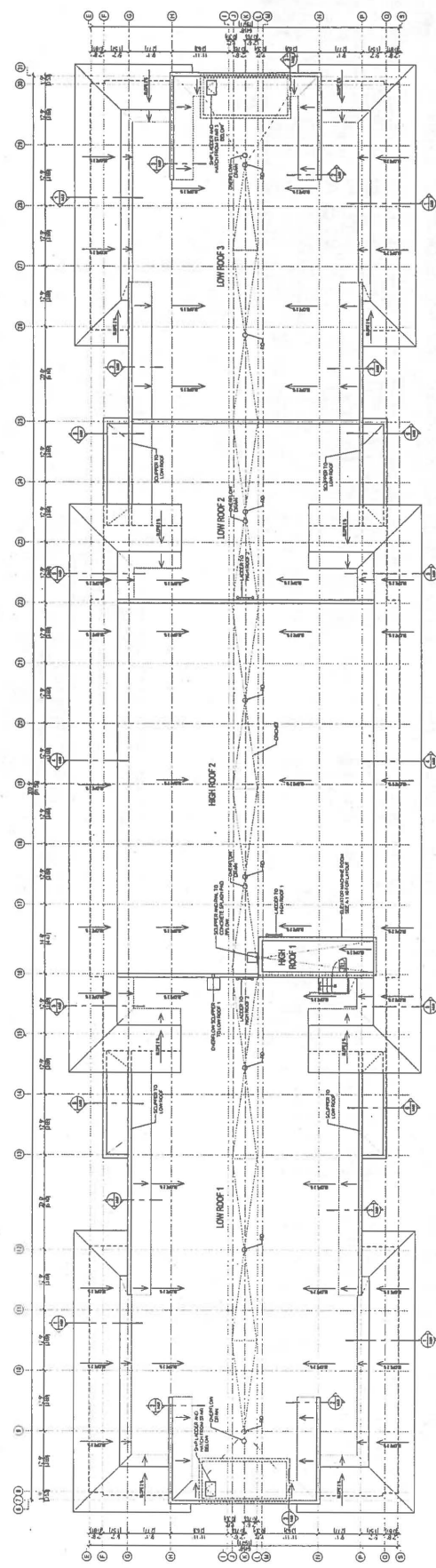
NORTH AND PROPERTIES CORPORATION
 1100 BAYVIEW BLVD., SUITE 1000
 BAYVIEW, ONTARIO M2H 2S4
 TEL: (416) 491-1111
 FAX: (416) 491-1112

1	PROPOSED JARDINE SPAWGLINE HOTEL	1/2 SCALE
2	MECHANICAL PENETRATIONS	1/2 SCALE
3	MECHANICAL PENETRATIONS	1/2 SCALE
4	MECHANICAL PENETRATIONS	1/2 SCALE
5	MECHANICAL PENETRATIONS	1/2 SCALE
6	MECHANICAL PENETRATIONS	1/2 SCALE
7	MECHANICAL PENETRATIONS	1/2 SCALE
8	MECHANICAL PENETRATIONS	1/2 SCALE
9	MECHANICAL PENETRATIONS	1/2 SCALE
10	MECHANICAL PENETRATIONS	1/2 SCALE
11	MECHANICAL PENETRATIONS	1/2 SCALE
12	MECHANICAL PENETRATIONS	1/2 SCALE
13	MECHANICAL PENETRATIONS	1/2 SCALE
14	MECHANICAL PENETRATIONS	1/2 SCALE
15	MECHANICAL PENETRATIONS	1/2 SCALE
16	MECHANICAL PENETRATIONS	1/2 SCALE
17	MECHANICAL PENETRATIONS	1/2 SCALE
18	MECHANICAL PENETRATIONS	1/2 SCALE
19	MECHANICAL PENETRATIONS	1/2 SCALE
20	MECHANICAL PENETRATIONS	1/2 SCALE
21	MECHANICAL PENETRATIONS	1/2 SCALE
22	MECHANICAL PENETRATIONS	1/2 SCALE
23	MECHANICAL PENETRATIONS	1/2 SCALE
24	MECHANICAL PENETRATIONS	1/2 SCALE
25	MECHANICAL PENETRATIONS	1/2 SCALE
26	MECHANICAL PENETRATIONS	1/2 SCALE
27	MECHANICAL PENETRATIONS	1/2 SCALE
28	MECHANICAL PENETRATIONS	1/2 SCALE
29	MECHANICAL PENETRATIONS	1/2 SCALE
30	MECHANICAL PENETRATIONS	1/2 SCALE
31	MECHANICAL PENETRATIONS	1/2 SCALE
32	MECHANICAL PENETRATIONS	1/2 SCALE
33	MECHANICAL PENETRATIONS	1/2 SCALE
34	MECHANICAL PENETRATIONS	1/2 SCALE
35	MECHANICAL PENETRATIONS	1/2 SCALE
36	MECHANICAL PENETRATIONS	1/2 SCALE
37	MECHANICAL PENETRATIONS	1/2 SCALE
38	MECHANICAL PENETRATIONS	1/2 SCALE
39	MECHANICAL PENETRATIONS	1/2 SCALE
40	MECHANICAL PENETRATIONS	1/2 SCALE
41	MECHANICAL PENETRATIONS	1/2 SCALE
42	MECHANICAL PENETRATIONS	1/2 SCALE
43	MECHANICAL PENETRATIONS	1/2 SCALE
44	MECHANICAL PENETRATIONS	1/2 SCALE
45	MECHANICAL PENETRATIONS	1/2 SCALE
46	MECHANICAL PENETRATIONS	1/2 SCALE
47	MECHANICAL PENETRATIONS	1/2 SCALE
48	MECHANICAL PENETRATIONS	1/2 SCALE
49	MECHANICAL PENETRATIONS	1/2 SCALE
50	MECHANICAL PENETRATIONS	1/2 SCALE

Pacific Coast Architecture Inc.
 1100 BAYVIEW BLVD., SUITE 1000
 BAYVIEW, ONTARIO M2H 2S4
 TEL: (416) 491-1111
 FAX: (416) 491-1112

PROPOSED JARDINE SPAWGLINE HOTEL
 275 COOKWELL AVENUE
 MISSISSAUGA, ONTARIO L4W 1G2
 SCALE: 1/2" = 1'-0"

DATE: 04/11/2011
 DRAWN: J. LEE
 CHECKED: J. LEE
 PROJECT: HOTEL ROOF PLAN
 SHEET: DP-1.11



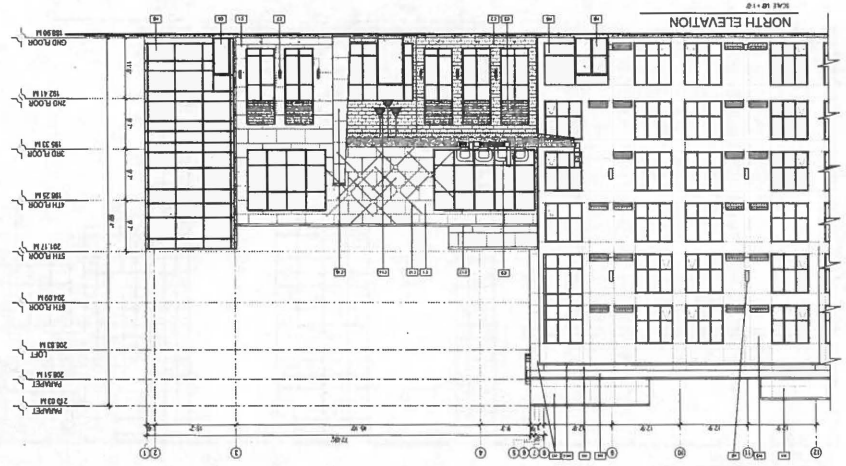
COORDINATE ALL OPENINGS & MECHANICAL PENETRATIONS ON SITE PRIOR TO ROUGH-IN

HOTEL ROOF PLAN
 SCALE: 1/2" = 1'-0"
 LOW ROOF 1: 5'00" TO 5'00"
 HIGH ROOF 2: 2'00" TO 2'00"
 LOW ROOF 3: 1'00" TO 1'00"
 MECHANICAL PENETRATIONS: 1/2" TO 1/2"
 DATE: 04/11/2011

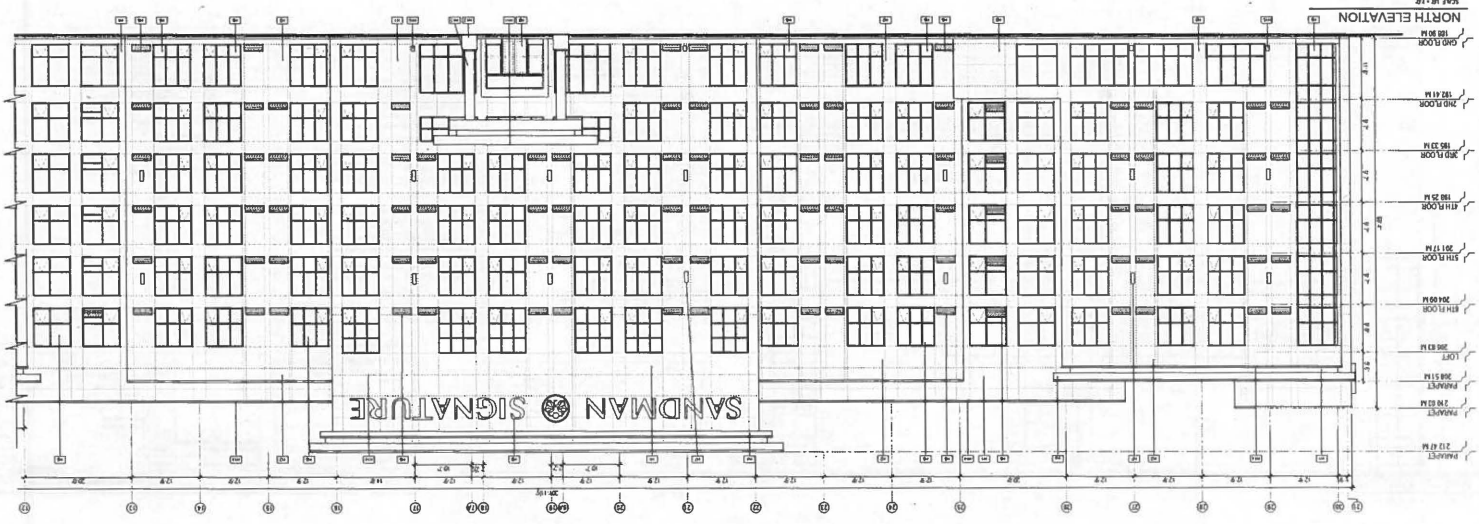
DP-2.01 NORTH ELEVATION 1:1 DATE: 10/15/10 DRAWN BY: J. [unclear]		NORTLAND PROJECTS CORPORATION 1000 WEST 10TH AVENUE VANCOUVER, BC V6H 3G9 TEL: 604-681-1111 FAX: 604-681-1112 WWW.NORTLANDPROJECTS.COM	
Pacific Coast Architects Inc. 1570 COMMERCIAL DRIVE VANCOUVER, BC V6J 1K7 TEL: 604-681-1111 FAX: 604-681-1112 WWW.PACIFICCOASTARCHITECTS.COM		PROPOSED SANDMAN SIGNATURE HOTEL 1570 COMMERCIAL DRIVE VANCOUVER, BC V6J 1K7 TEL: 604-681-1111 FAX: 604-681-1112 WWW.SANDMANHOTELS.COM	



EXTENSION FINISHES	
101	Interior Wall Finish
102	Interior Ceiling Finish
103	Interior Floor Finish
104	Exterior Wall Finish
105	Exterior Ceiling Finish
106	Exterior Floor Finish
107	Roof Finish
108	Window and Door Finish
109	Staircase Finish
110	Elevator Finish
111	MEP Room Finish
112	Structural Steel Finish
113	Structural Concrete Finish
114	Structural Masonry Finish
115	Structural Glass Finish
116	Structural Metal Finish
117	Structural Wood Finish
118	Structural Brick Finish
119	Structural Stone Finish
120	Structural Tile Finish



Notes:
 1. Refer to the General Notes for a complete list of materials and finishes.
 2. All dimensions are in meters unless otherwise specified.
 3. The building is to be constructed in accordance with the BC Building Code and all applicable regulations.
 4. The contractor is responsible for obtaining all necessary permits and approvals.
 5. The building is to be constructed on a level site.
 6. The building is to be constructed on a foundation of concrete piers and beams.
 7. The building is to be constructed on a site with a maximum slope of 10%.

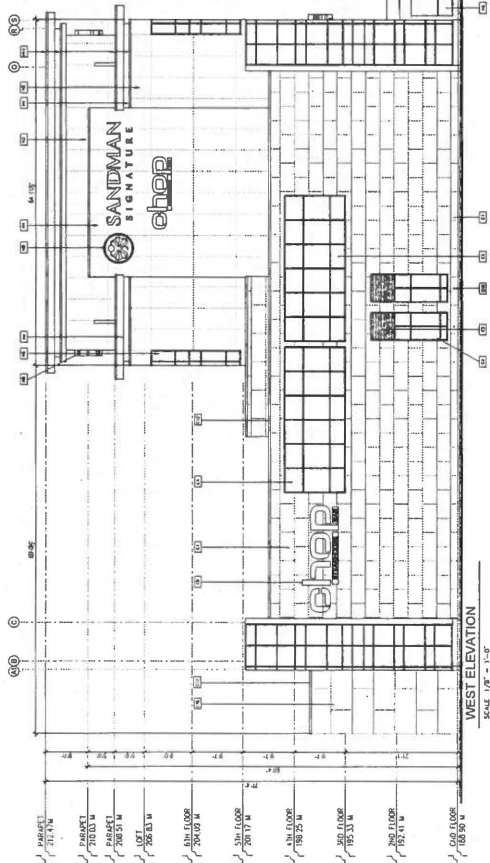
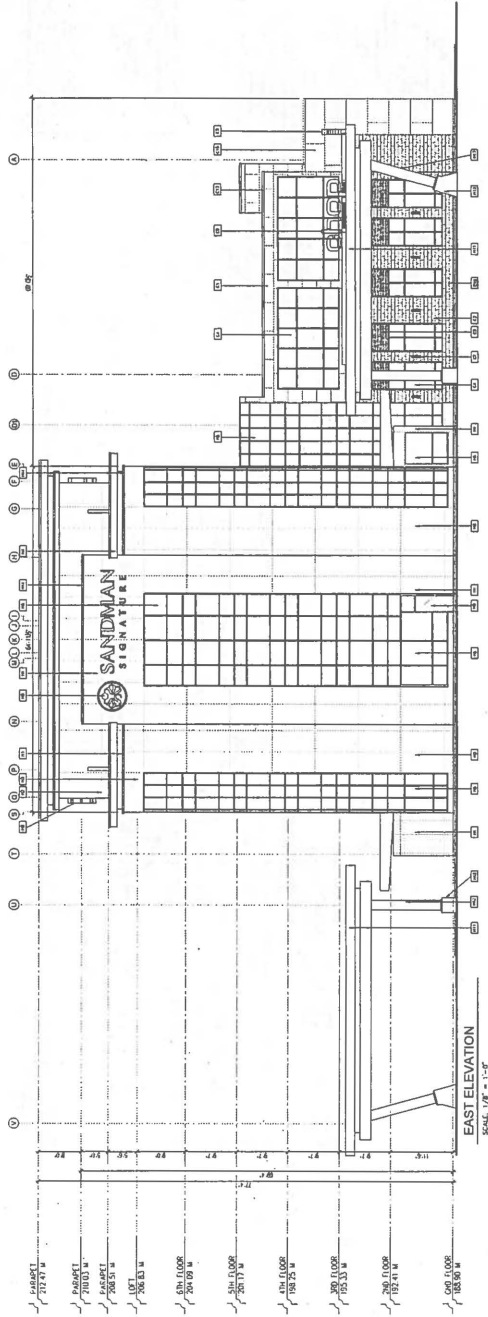


Materiality Priority Resources

- 1. All materials shall be of high quality and shall be consistent with the design intent.
- 2. All materials shall be of high quality and shall be consistent with the design intent.
- 3. All materials shall be of high quality and shall be consistent with the design intent.
- 4. All materials shall be of high quality and shall be consistent with the design intent.
- 5. All materials shall be of high quality and shall be consistent with the design intent.
- 6. All materials shall be of high quality and shall be consistent with the design intent.
- 7. All materials shall be of high quality and shall be consistent with the design intent.
- 8. All materials shall be of high quality and shall be consistent with the design intent.
- 9. All materials shall be of high quality and shall be consistent with the design intent.
- 10. All materials shall be of high quality and shall be consistent with the design intent.
- 11. All materials shall be of high quality and shall be consistent with the design intent.
- 12. All materials shall be of high quality and shall be consistent with the design intent.
- 13. All materials shall be of high quality and shall be consistent with the design intent.
- 14. All materials shall be of high quality and shall be consistent with the design intent.
- 15. All materials shall be of high quality and shall be consistent with the design intent.
- 16. All materials shall be of high quality and shall be consistent with the design intent.
- 17. All materials shall be of high quality and shall be consistent with the design intent.
- 18. All materials shall be of high quality and shall be consistent with the design intent.
- 19. All materials shall be of high quality and shall be consistent with the design intent.
- 20. All materials shall be of high quality and shall be consistent with the design intent.

Materiality Lighting Criteria

- 1. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 2. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 3. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 4. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 5. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 6. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 7. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 8. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 9. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 10. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 11. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 12. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 13. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 14. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 15. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 16. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 17. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 18. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 19. All lighting fixtures shall be of high quality and shall be consistent with the design intent.
- 20. All lighting fixtures shall be of high quality and shall be consistent with the design intent.



HOTEL FINISHES		CHOP STEAKHOUSE FINISHES	
101	PAINTED MANDARIN PANELED CARPETWALL	101	PAINTED MANDARIN PANELED CARPETWALL
102	PAINTED MANDARIN PANELED CARPETWALL	102	PAINTED MANDARIN PANELED CARPETWALL
103	PAINTED MANDARIN PANELED CARPETWALL	103	PAINTED MANDARIN PANELED CARPETWALL
104	PAINTED MANDARIN PANELED CARPETWALL	104	PAINTED MANDARIN PANELED CARPETWALL
105	PAINTED MANDARIN PANELED CARPETWALL	105	PAINTED MANDARIN PANELED CARPETWALL
106	PAINTED MANDARIN PANELED CARPETWALL	106	PAINTED MANDARIN PANELED CARPETWALL
107	PAINTED MANDARIN PANELED CARPETWALL	107	PAINTED MANDARIN PANELED CARPETWALL
108	PAINTED MANDARIN PANELED CARPETWALL	108	PAINTED MANDARIN PANELED CARPETWALL
109	PAINTED MANDARIN PANELED CARPETWALL	109	PAINTED MANDARIN PANELED CARPETWALL
110	PAINTED MANDARIN PANELED CARPETWALL	110	PAINTED MANDARIN PANELED CARPETWALL
111	PAINTED MANDARIN PANELED CARPETWALL	111	PAINTED MANDARIN PANELED CARPETWALL
112	PAINTED MANDARIN PANELED CARPETWALL	112	PAINTED MANDARIN PANELED CARPETWALL
113	PAINTED MANDARIN PANELED CARPETWALL	113	PAINTED MANDARIN PANELED CARPETWALL
114	PAINTED MANDARIN PANELED CARPETWALL	114	PAINTED MANDARIN PANELED CARPETWALL
115	PAINTED MANDARIN PANELED CARPETWALL	115	PAINTED MANDARIN PANELED CARPETWALL
116	PAINTED MANDARIN PANELED CARPETWALL	116	PAINTED MANDARIN PANELED CARPETWALL
117	PAINTED MANDARIN PANELED CARPETWALL	117	PAINTED MANDARIN PANELED CARPETWALL
118	PAINTED MANDARIN PANELED CARPETWALL	118	PAINTED MANDARIN PANELED CARPETWALL
119	PAINTED MANDARIN PANELED CARPETWALL	119	PAINTED MANDARIN PANELED CARPETWALL
120	PAINTED MANDARIN PANELED CARPETWALL	120	PAINTED MANDARIN PANELED CARPETWALL

Pacific Crest Architecture Inc.
 1000 West 10th Street
 Vancouver, BC V6H 2G6
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.pacificcrest.ca

PROPOSED MANDARIN SIGNATURE HOTEL
 1000 WEST 10TH STREET
 VANCOUVER, BC V6H 2G6
 SHEET NO. DP-2.02

EAST & WEST ELEVATION

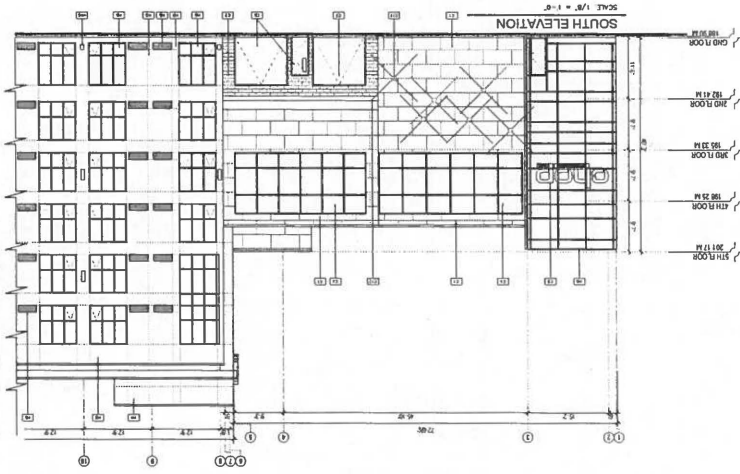
Date: 10/10/2010
 Drawn: J. Smith
 Checked: M. Jones
 Project: Pacific Crest Architecture Inc.



DP-2.03 SOUTH ELEVATION DATE: 11-1-10 DRAWN: [Name] CHECKED: [Name]	PROJECT: [Name] ARCHITECT: [Name] DATE: 11-1-10	NO. [] SHEET [] OF []
		NORTHLAND PROPERTIES CORPORATION 1000 WEST 10TH AVENUE SUITE 1000 DENVER, CO 80202



NO.	DESCRIPTION
1	GLASS CURTAIN WALL SYSTEM
2	ALUMINUM CURTAIN WALL SYSTEM
3	ALUMINUM WINDOW SYSTEM
4	ALUMINUM DOOR SYSTEM
5	ALUMINUM BALCONY RAILING SYSTEM
6	ALUMINUM SIGN SYSTEM
7	ALUMINUM HANDRAIL SYSTEM
8	ALUMINUM STAIR CASE SYSTEM
9	ALUMINUM STAIR CASE RAILING SYSTEM
10	ALUMINUM STAIR CASE BALUSTRADE SYSTEM
11	ALUMINUM STAIR CASE BALUSTRADE RAILING SYSTEM
12	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE SYSTEM
13	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE RAILING SYSTEM
14	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
15	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
16	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
17	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
18	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
19	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
20	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
21	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
22	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
23	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
24	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
25	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
26	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
27	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
28	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM
29	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE RAILING SYSTEM
30	ALUMINUM STAIR CASE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE BALUSTRADE SYSTEM



1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 11. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 12. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 13. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 14. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 15. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 16. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 17. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 18. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 19. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 20. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 21. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 22. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 23. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 24. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 25. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 26. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 27. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 28. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 29. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 30. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

