

# Memorandum to the City of Markham Committee of Adjustment

May 15, 2019

**File:** A/44/19  
**Address:** 30 Rothsay Rd, Thornhill  
**Applicant:** Bicheng Wang & Man Jiang Yu  
**Agent:** Modular Home Additions Inc (Milan Lukovic)  
**Hearing Date:** Wednesday May 29, 2019

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 2150, R3A as amended:

a) **Section 6.1 (Building Height):**

a maximum building height of 25 ft 9 in (7.85 m), whereas the By-law permits a maximum building of 25 ft (7.62 m) from established grade to the mean level between the eaves and the ridge of the sloping roof;

b) **Section 6.1 (Side Yard Setback):**

a minimum westerly side yard setback of 4.56 ft (1.39 m), whereas the By-law requires a minimum side yard setback for a 2nd storey of 6 ft (1.82) on each side;

c) **Section 3.7 (Permitted Yard Encroachment):**

a maximum unenclosed roofed porch encroachment of 60 in (5 ft), whereas the By-law permits a maximum encroachment of 18 in (1.5 ft) into the required front yard setback;

as they relate to a proposed second storey addition to an existing single detached residential dwelling.

## BACKGROUND

### Property Description

The 695.88 m<sup>2</sup> (7,490.4 ft<sup>2</sup>) subject property is located on the north side of Rothsay Road, South of Highway 7 and west of Bayview Avenue. The property is located within a residential neighbourhood comprised of a mix of one and two-storey detached dwelling. There is an existing one-storey detached 158.59 m<sup>2</sup> (1,707.05 ft<sup>2</sup>) dwelling on the property, which according to assessment records was constructed in 1996. Mature vegetation exists across the property.

### Proposal

The applicant is proposing to construct a 153.29 m<sup>2</sup> (1,650 ft<sup>2</sup>) addition above the existing one-storey detached dwelling. The proposal also includes alterations to the interior and exterior of the existing one-storey detached dwelling.

### Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the 'Residential – Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a 'Residential Low

Rise' area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood.

#### Zoning By-Law 2150

The subject property is zoned R3A 'Third Density Single Family Residential' under By-law 2150, as amended, which permits a single detached dwelling. The proposal does not comply with the by-law with respect to maximum building height, minimum westerly side yard setback and, permitted yard encroachment into the required yard.

#### **Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, the reason for not complying with Zoning is, "*existing site conditions*".

#### **Zoning Preliminary Review (ZPR) Undertaken**

The owner has completed a Zoning Preliminary Review (ZPR) on April 23, 2019 to confirm the variances required for the proposed development.

#### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

#### **Increase in Maximum Building Height**

The applicant is requesting relief to permit a maximum building height of 25.75 ft (7.85 m), whereas the By-law permits a maximum building height of 25 ft (7.62 m). This represents an increase by approximately 0.75 ft (0.23 m) or, approximately 3 percent. Staff are of the opinion that the requested variance is minor in nature.

#### **Reduced Westerly Side Yard Setback**

The applicant is requesting a minimum westerly side yard setback of 4.56 ft (1.39 m) for the two-storey portion of the dwelling, whereas the By-law requires a minimum westerly side yard setback of 6 ft (1.82) for the two-storey portion of the dwelling.

The requested variance only applies to the two-storey portion above the existing garage and does not span the full length of the proposed dwelling. The remainder of the home maintains a setback of approximately 23.4 ft (7.13 m) from the west property line. Engineering staff have reviewed the application and have no concern with the variance respecting drainage. Given that the main floor complies with the minimum side yard setback requirement and that the requested variance only applies to the portion above the existing garage, Staff are of the opinion that the requested variance is minor in nature.

#### **Increase in Unenclosed Roofed Encroachment**

The applicant is requesting a maximum unenclosed roofed porch encroachment of 60 in (5 ft), into the front yard, whereas the By-law permits a maximum roofed porch encroachment of 18 in

(1.5 ft) into the required front yard setback. Given that the porch is unenclosed and maintains the permitted front and side yard setbacks, it will not add to the overall massing of the building. Staff are of the opinion that the requested variance is appropriate for the development of the site.

**PUBLIC INPUT SUMMARY**

No written submissions were received as of May 15, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

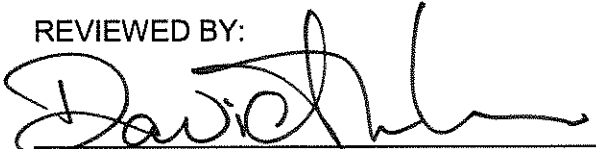
Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



\_\_\_\_\_  
David Miller, Development Manager, West District


File Path: Amanda\File\19 119418 \Documents\District Team Comments Memo

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/44/19**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on May 3<sup>rd</sup>, 2019, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations; and
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects



Before

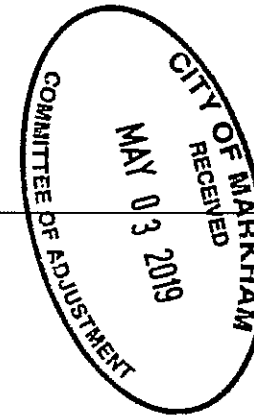
Concept

**Proposed Second Storey Addition & Interior Renovations to:**

**30 Rothsay Road, Markham Ontario**

Project No.: ACC201901001

Client: Bichend Wang & Man Jiang Yu



After

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**Accuvision**

Design • Planning • Management  
 Cambridge, ON N3C 2S3  
 t: 519.241.9446

Printing Date: 24/04/2019



METRIC  
DISTANCES SHOWN ON THIS PLAN ARE  
IN METRES AND CAN BE CONVERTED  
TO FEET BY DIVIDING BY 0.3048.

**SURVEYOR'S REAL PROPERTY REPORT**  
PART 1) PLAN AND TOPOGRAPHIC DETAIL OF  
**LOT 403**  
**REGISTERED PLAN 7695**  
**CITY OF MARKHAM**  
**REGIONAL MUNICIPALITY OF YORK**  
SCALE 1:200

**VLADIMIR DOSEN SURVEYING, O.L.S.**

NO PERSON MAY COPY, REPRODUCE, IMPROVE OR ALTER THIS  
PLAN OR MAKE IT IN ANY MANNER WITHOUT THE WRITTEN PERMISSION  
OF VLADIMIR DOSEN, O.L.S.

**NOTES AND LEGEND**

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- BB DENOTES FROM BAR
- CU DENOTES CURB UNKNOWN
- M DENOTES MEASURED
- MB DENOTES MANHOLE
- UP DENOTES UTILITY POLE
- Ø DENOTES DIAMETER
- CF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- PRC DENOTES POINT OF REVERSE CURVATURE
- PC DENOTES POINT OF CURVATURE
- PRG DENOTES PRODUCTION OF WALL LINE
- FL DENOTES REGISTERED PLAN 7695
- P1 DENOTES PLAN BY SEWELL AND SEWELL, O.L.S. DATED MAY 4th, 1987
- P2 DENOTES PLAN BY SEWELL AND SEWELL, O.L.S. DATED MAY 4th, 1987
- P3 DENOTES PLAN BY SEWELL AND SEWELL, O.L.S. DATED MAY 4th, 1987
- N/E/S/W DENOTES NORTH/EAST/SOUTH/WEST
- DENOTES CONIFEROUS TREE
- DENOTES DECIDUOUS TREE

**PART 2) SURVEY REPORT**

DESCRIPTION OF LAND:  
LOT 403 REGISTERED PLAN 7695, P.M. 03027-01178-0  
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS  
SUBJECT TO EASEMENT OVER THE WORKSHEET 2.204  
AS IN INSTRUMENT NO. M45878  
BOUNDARY FEATURES:  
POSITION OF FENCES AS SHOWN ON PLAN  
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING  
BY-LAWS.

**BEARING NOTE:**

BEARINGS AND DISTANCES AND ARE  
DERIVED FROM THE NORTHERLY  
LIMIT OF ROTHSAY ROAD  
AS SHOWN ON REGISTERED PLAN 7695  
HAVING A BEARING OF N 13°02'00" E

**BENCHMARK:**

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM  
CITY OF MARKHAM BENCHMARK No. M-02-012  
HAVING AN ELEVATION OF 198.887 METRES.

THIS REPORT WAS PREPARED FOR  
NEIGHBOR HOMES,  
AND THE UNDERSIGNED ACCEPTS NO  
RESPONSIBILITY FOR USE BY  
OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**

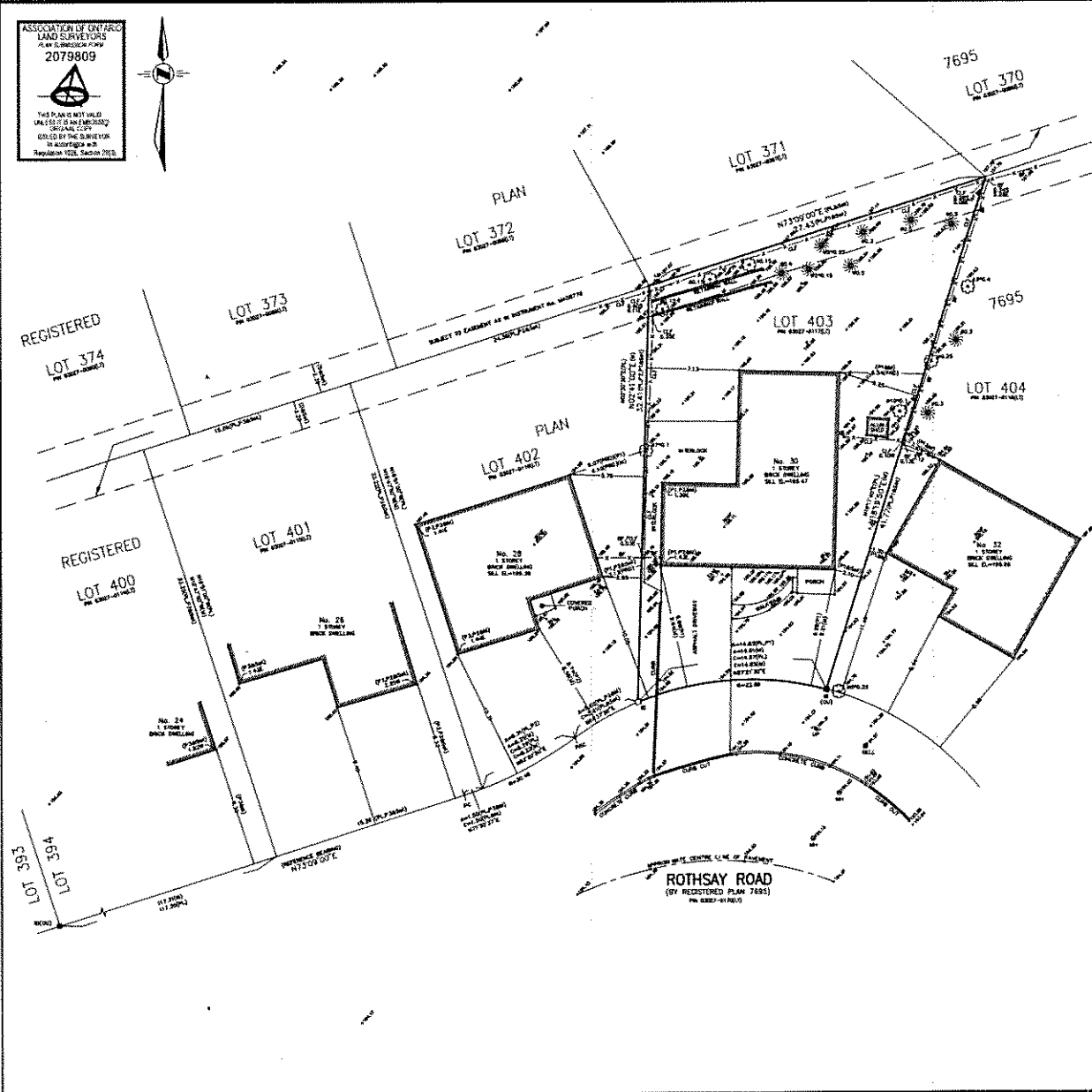
- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REGULATION AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON THE 25th DAY OF JANUARY, 2019.

DATE: JANUARY 31st, 2019

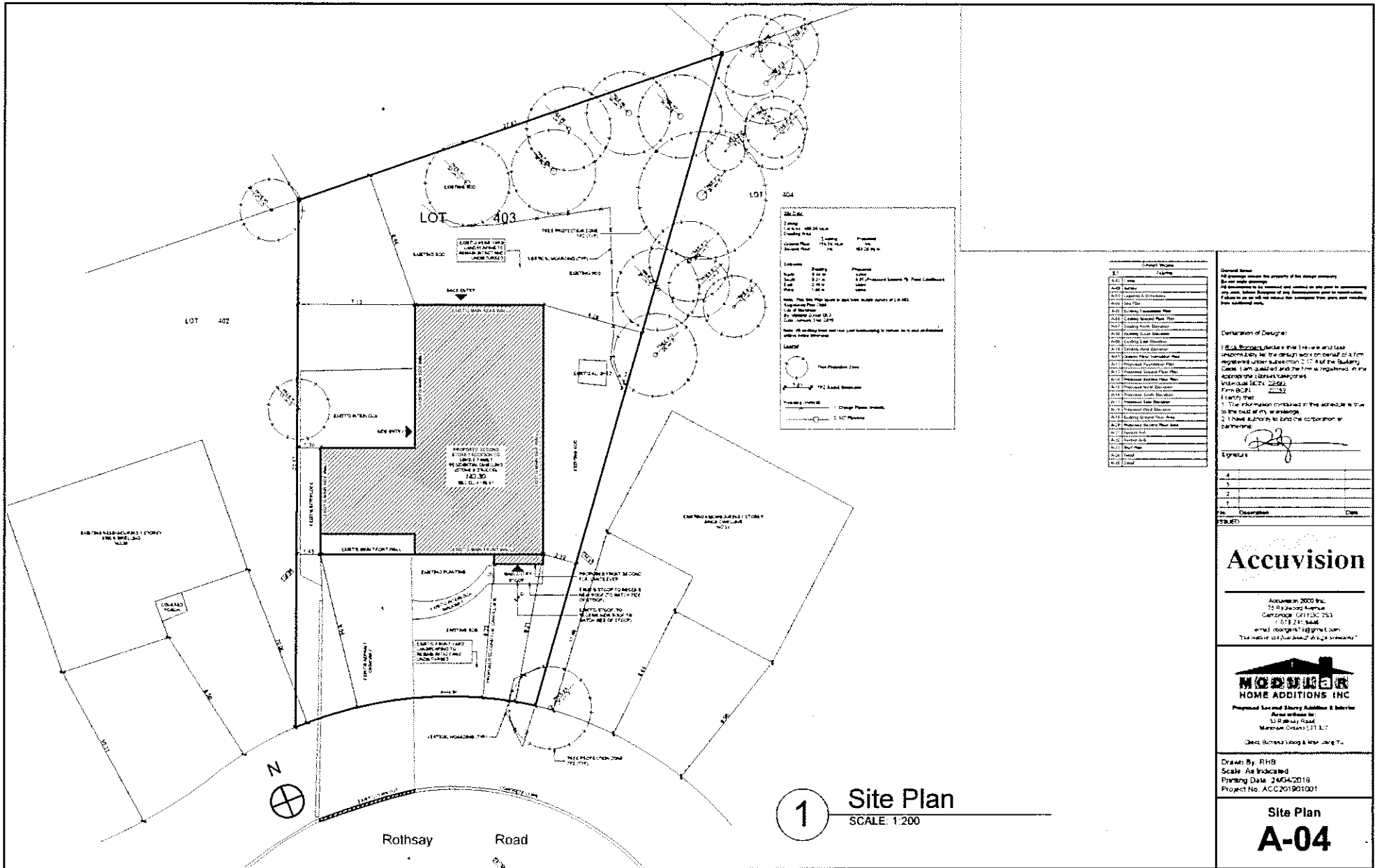
VLADIMIR DOSEN, B.Sc.  
ONTARIO LAND SURVEYOR

**VLADIMIR DOSEN SURVEYING**  
ONTARIO LAND SURVEYORS  
555 DAVISVILLE AVENUE  
TORONTO, ONTARIO M4S 1J2  
PHONE (416) 466-0440 EMAIL: vladdosen@rogers.com

209 No. 1	FIELD BY: VLADIMIR
FILE: X	DRAWN BY: EICH
CAD FILE: 30 ROTHSAY ROAD	CHECKED BY: VO







**Site Data:**

Lot Area	483.34 sqm	Proposed	
Lotting Area	1.00	Lotting	
Lotting Ratio	0.21%	Lotting	
Lotting Area	1.00	Lotting	

**Lot Area:** 483.34 sqm  
**Lotting Area:** 1.00  
**Lotting Ratio:** 0.21%

**Notes:** The site is proposed to be used for the purpose of a 1.00 lotting area. The site is proposed to be used for the purpose of a 1.00 lotting area. The site is proposed to be used for the purpose of a 1.00 lotting area.

**Legend:**

- Tree Protection Line
- Proposed Tree
- Tree to be Removed
- Proposed Tree
- Tree to be Removed

**Project Program**

Item	Description
A.1	Site Plan
A.2	Site Plan
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A.44	Site Plan
A.45	Site Plan
A.46	Site Plan
A.47	Site Plan
A.48	Site Plan
A.49	Site Plan
A.50	Site Plan

**Declaration of Designer:**

I, **John R. H. B.**, declare that I am a duly qualified and registered professional engineer in the Province of Ontario, Canada, and I am qualified and the firm is registered in the appropriate classes/categories.

**Firm Name:** ACCUVISION

**Address:** 75 Ryegood Avenue, Cambridge, ON N1C 7S1, Canada

**Phone:** (519) 211-8444

**Website:** www.accuvison.com

**Signature:** [Signature]

**Date:** 2019/04/24

**1 Site Plan**  
SCALE 1:200

**Accuvison**

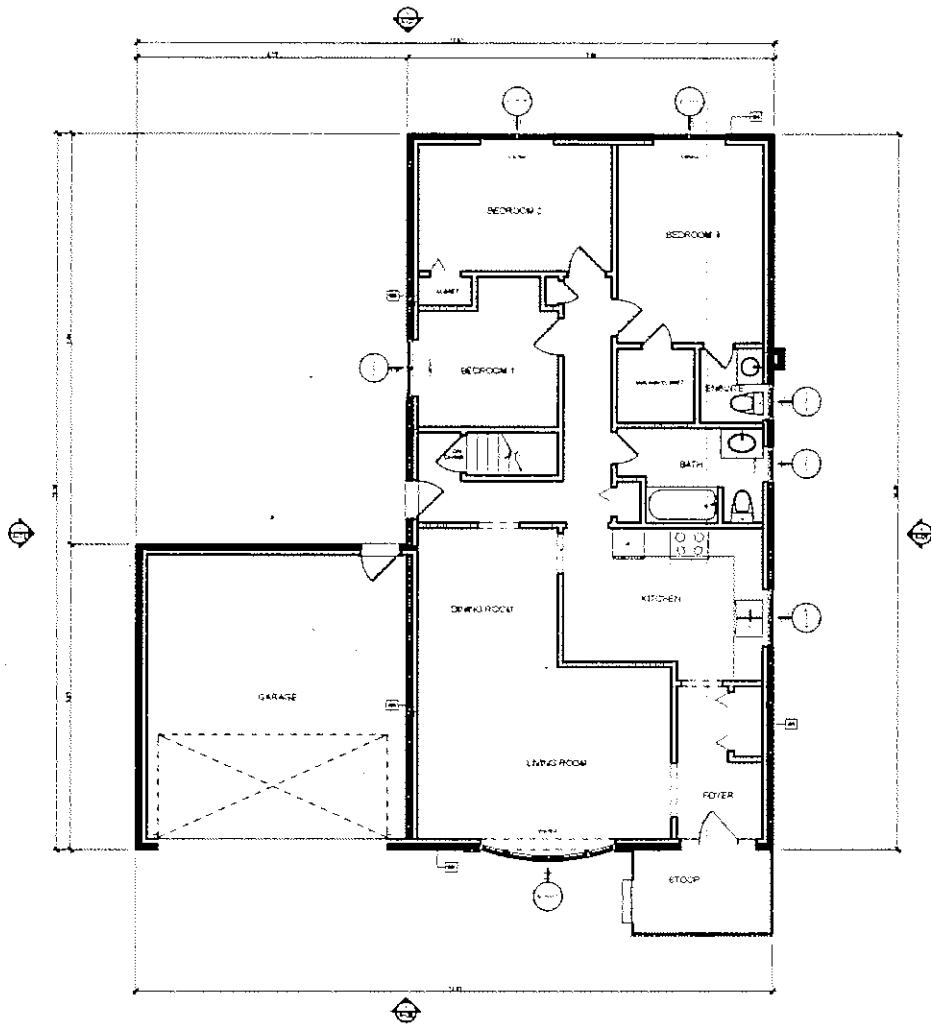
Accuvison 2000 Inc.  
75 Ryegood Avenue  
Cambridge, ON N1C 7S1  
(519) 211-8444  
www.accuvison.com

**MODERN HOME ADDITIONS INC.**  
Proposed Second Storey Addition & Interior Renovation  
111 Ryegood Road  
Markham, Ontario L3T 1J7  
Client: Barbara & Neil J. J.

Drawn By: RHB  
Scale: As Indicated  
Printing Date: 24/04/2019  
Project No.: ACC201901001

**Site Plan A-04**





**1** Existing Ground Floor (Metric)  
SCALE: 1:100

Finish Notes	
001	Living
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**Declaration of Designer**

I, **Accuvision**, declare that I have read and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code, I am qualified and the firm is registered in the appropriate license category.

Individual BCPI: 21224  
Firm BCPI: 22222  
Eighty Year:

I, the information entered in the schedule of the to the best of my knowledge.

I have authorized the printing of this plan for the purpose of:

Signature: *[Signature]*

Date: \_\_\_\_\_

By: \_\_\_\_\_ Title: \_\_\_\_\_

**Accuvision**

Accuvision 2000 Inc.  
75 Richmond Avenue  
Cambridge, ON N1C 2S1  
T: 519 241 2444  
email: h.ruggieri@accuvision.com  
Tuckerton 111 Avenue of the City, New Jersey

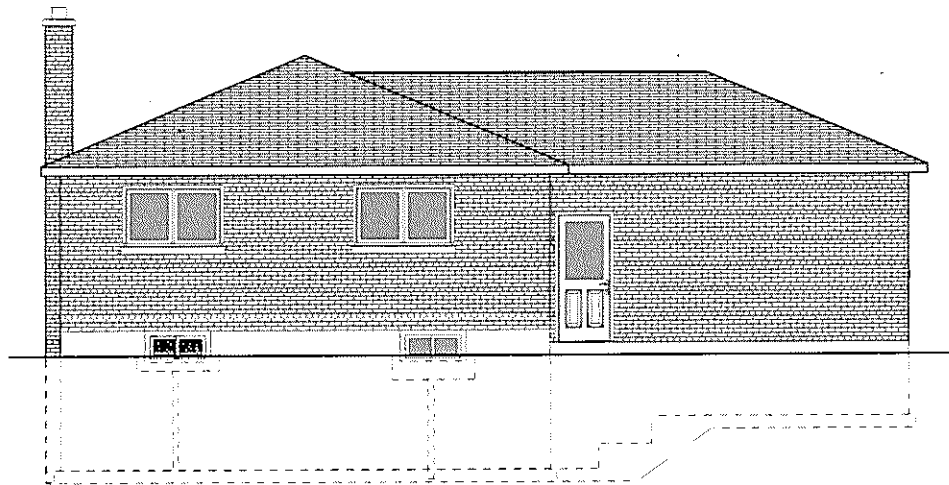
**MODERN HOME ADDITIONS INC**

Proposed Second Storey Addition & Interior  
New address for:  
10 GARDNER ROAD  
MARKHAM ONTARIO L3T 3J7  
Client: Richard Volop & Marjorie Y.

Drawn By: RHB  
Scale: As Indicated  
Printing Date: 2/20/2018  
Project No.: ACC201801001

Existing Ground Floor Plan

**A-06**



1

**Existing North Elevation**

SCALE: 1/8"

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Declaration of Designer:  
 I, **Richard H. Hagg**, declare that I am a duly licensed and qualified professional engineer under Subchapter 1, 15-1 of the Building Code, I am qualified and the firm is registered in the jurisdiction in which this project is located.  
 Individual RCP# **00000**  
 Firm RCP# **00000**  
 I certify that:

- 1. The information contained in the schedule is true to the best of my knowledge.
- 2. I have authorized the contractor to execute the work.

Signature: *[Handwritten Signature]*

No.	Description	Date

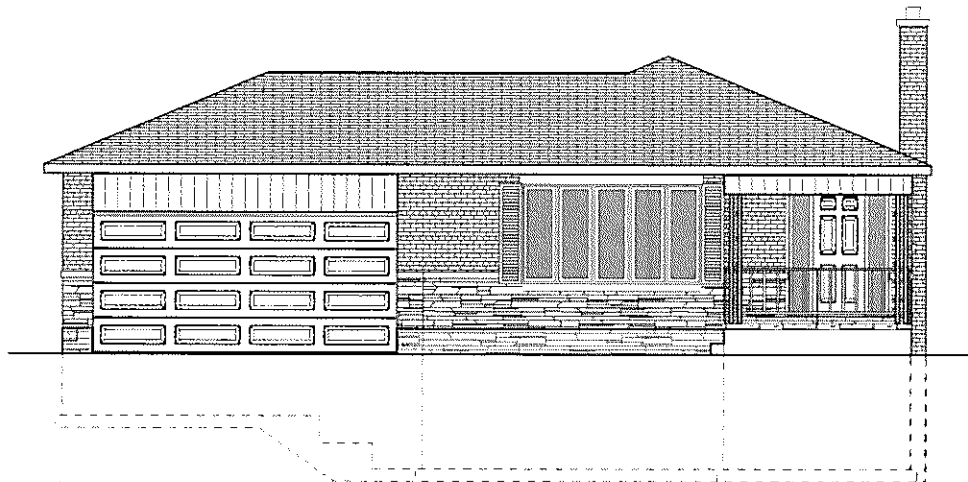
**Accuvision**

Accuvision 2025 Inc.  
 27 Chancel Avenue  
 Canby, OR 97103-2511  
 Phone: 503.261.3446  
 Email: rchagg@accuvison.com  
 The name of Accuvison is a registered trademark.

**MODULAR HOME ADDITIONS INC.**  
 Prepared: Richard Hagg, Architect & Designer  
 Registered No. 00000  
 5200 S. 10th St.  
 Vancouver, WA 98686  
 Client: Richard Hagg & Mar. Hagg, Inc.

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 24/04/2019  
 Project No.: ACC201901001

Existing North Elevation  
**A-07**



1

Existing South Elevation

SCALE: 1/75

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13	Exterior Wall Section
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49	Exterior Wall Section
50	Exterior Wall Section

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 1. All drawings are for the property of the owner.  
 2. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.  
 3. The architect is not responsible for any errors or omissions in these drawings.

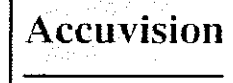
Declaration of Designer:  
 I, **Scott Schenck**, declare that I am a duly licensed professional engineer in the State of North Carolina, and I am the designer of the above-referenced drawings.

1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have authority to bind the corporation or partnership.

Signature: *Scott Schenck*

Date: \_\_\_\_\_  
 Title: \_\_\_\_\_

PROJECT NO. ACC201901001



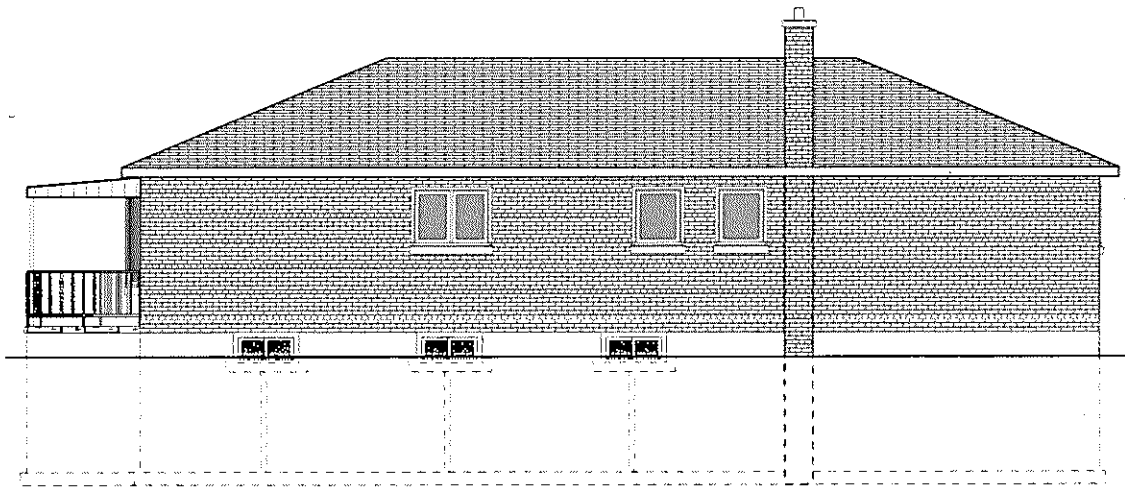
Accuvision 2000 Inc.  
 22 Fairwood Avenue  
 Charlotte, NC 28205  
 Phone: 704.374.8448  
 Email: accuvision@accuvision.com  
 The quality of your life is our business!



Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 2/04/2019  
 Project No.: ACC201901001

Existing South Elevation

A-08



**1** Existing East Elevation  
SCALE: 1/75

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A-100	Foundation

**General Notes**  
 1. All dimensions shown are in feet and inches.  
 2. All dimensions shown are in feet and inches.  
 3. All dimensions shown are in feet and inches.  
 4. All dimensions shown are in feet and inches.  
 5. All dimensions shown are in feet and inches.  
 6. All dimensions shown are in feet and inches.  
 7. All dimensions shown are in feet and inches.  
 8. All dimensions shown are in feet and inches.  
 9. All dimensions shown are in feet and inches.  
 10. All dimensions shown are in feet and inches.

**Declaration of Designer**  
 I, **Accuvision**, declare that I have and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of The Building Code. I am qualified and the firm is registered in the appropriate jurisdiction.  
 FIRM SIGNATURE: **Accuvision**  
 FIRM NO.: **12345**

I, **Accuvision**, declare that:  
 1. The information contained in the schedule is true to the best of my knowledge.  
 2. I have authority to bind the corporation or partnership.

Signature: *[Handwritten Signature]*

No.	Description	Date
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# Accuvision

Accuvision 2000 Inc.  
 78 Dundas Street West  
 Toronto, Ontario M5G 1L4  
 Tel: (416) 593-1111  
 Fax: (416) 593-1112



Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 24/04/2018  
 Project No.: ACC201801001

## Existing East Elevation A-09



1 Existing West Elevation  
SCALE: 1/75

Sheet Index	
No.	Issued
15	1/15/15
16	1/15/15
17	1/15/15
18	1/15/15
19	1/15/15
20	1/15/15
21	1/15/15
22	1/15/15
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99	1/15/15
100	1/15/15

General Notes:  
 1. All work shall be in accordance with the Ontario Building Code (OBC) and all applicable laws and regulations.  
 2. The Designer is not responsible for the accuracy of any information provided by the client or any other person.  
 3. The Designer is not responsible for the accuracy of any information provided by the client or any other person.  
 4. The Designer is not responsible for the accuracy of any information provided by the client or any other person.  
 5. The Designer is not responsible for the accuracy of any information provided by the client or any other person.

Confirmation of Designer:  
 I, **Accuvision**, declare that I am a duly qualified and registered under subsection 217.4 of the Building Code, I am qualified and the firm is registered in the appropriate jurisdiction.  
 Individual BCPI: **21232**  
 Firm BCPI: **21232**  
 I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have authority to sign the confirmation of the Designer.

Signature: *[Handwritten Signature]*

**Accuvision**

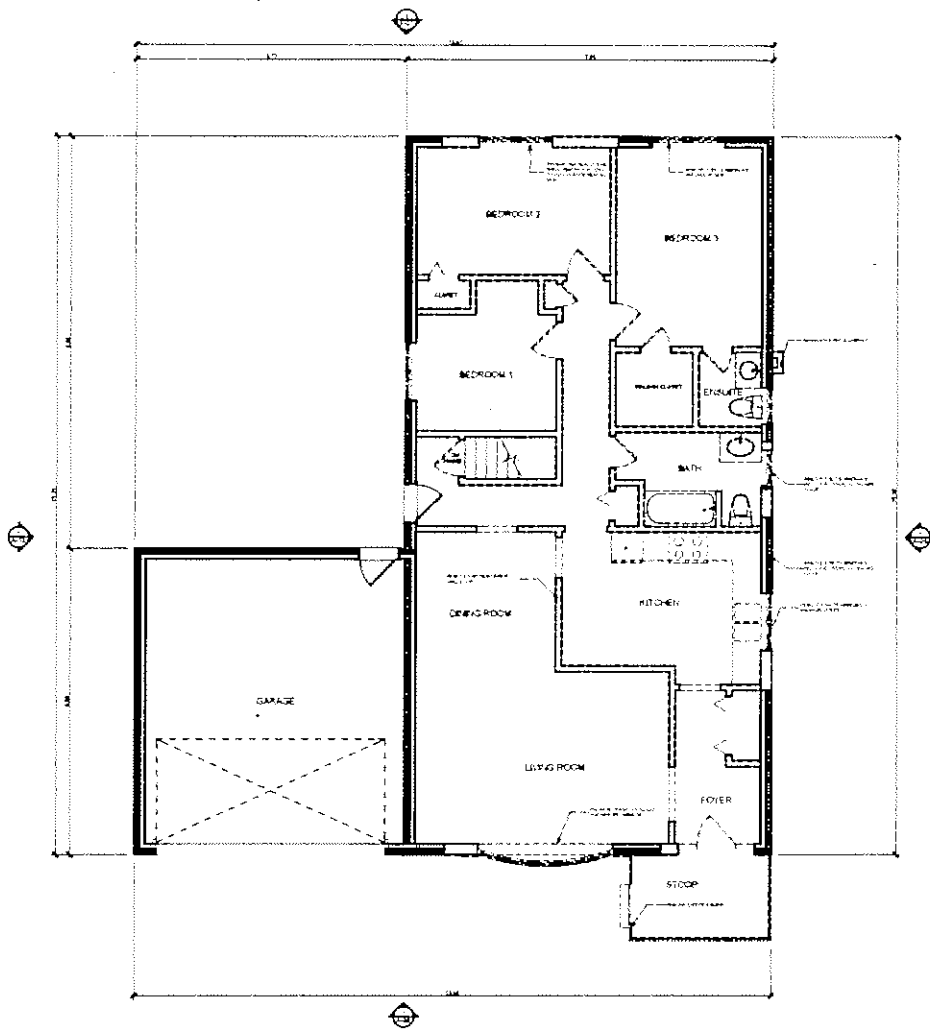
Accuvision 2030 Inc.  
 70 Reading Avenue  
 Cambridge, ON N1C 7S1  
 T 519 241-3446  
 email: info@accuvision.ca  
 The leader in the business of Affordable Housing

**HOME ADDITIONS INC.**

Proposed Second Storey Addition & Porch  
 Represented by:  
 30 Palmer Road  
 Markham, ON L3R 0T7  
 Client: Barbara Young & Marlene F.

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 24/04/2018  
 Project No.: ACC201801001

**Existing West Elevation**  
**A-10**



NO.	DATE	REVISIONS
1	2019	Issue
2	2019	Revised
3	2019	Revised
4	2019	Revised
5	2019	Revised
6	2019	Revised
7	2019	Revised
8	2019	Revised
9	2019	Revised
10	2019	Revised
11	2019	Revised
12	2019	Revised
13	2019	Revised
14	2019	Revised
15	2019	Revised
16	2019	Revised
17	2019	Revised
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25	2019	Revised
26	2019	Revised
27	2019	Revised
28	2019	Revised
29	2019	Revised
30	2019	Revised
31	2019	Revised
32	2019	Revised
33	2019	Revised
34	2019	Revised
35	2019	Revised
36	2019	Revised
37	2019	Revised
38	2019	Revised
39	2019	Revised
40	2019	Revised
41	2019	Revised
42	2019	Revised
43	2019	Revised
44	2019	Revised
45	2019	Revised
46	2019	Revised
47	2019	Revised
48	2019	Revised
49	2019	Revised
50	2019	Revised

**Standard Notes**  
 All drawings remain the property of the design company.  
 Do not reuse drawings.  
 All dimensions to be checked and verified on site prior to construction.  
 All work to be done in accordance with the relevant codes and standards.  
 All work to be done in accordance with the relevant codes and standards.  
 All work to be done in accordance with the relevant codes and standards.

**Declaration of Designer**  
 I, **Richard Veale**, declare that I have read and take responsibility for the design and construction of a firm registered under the sub-section 117 of the Building Code. I am qualified and the firm is registered in the appropriate New Zealand category.  
 Individual ECN: 22089  
 Firm ECN: 22089  
 I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have signed to bind the corporation or partnership.  
 Signature: *[Signature]*

No.	Description	Date
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**Accuvision**

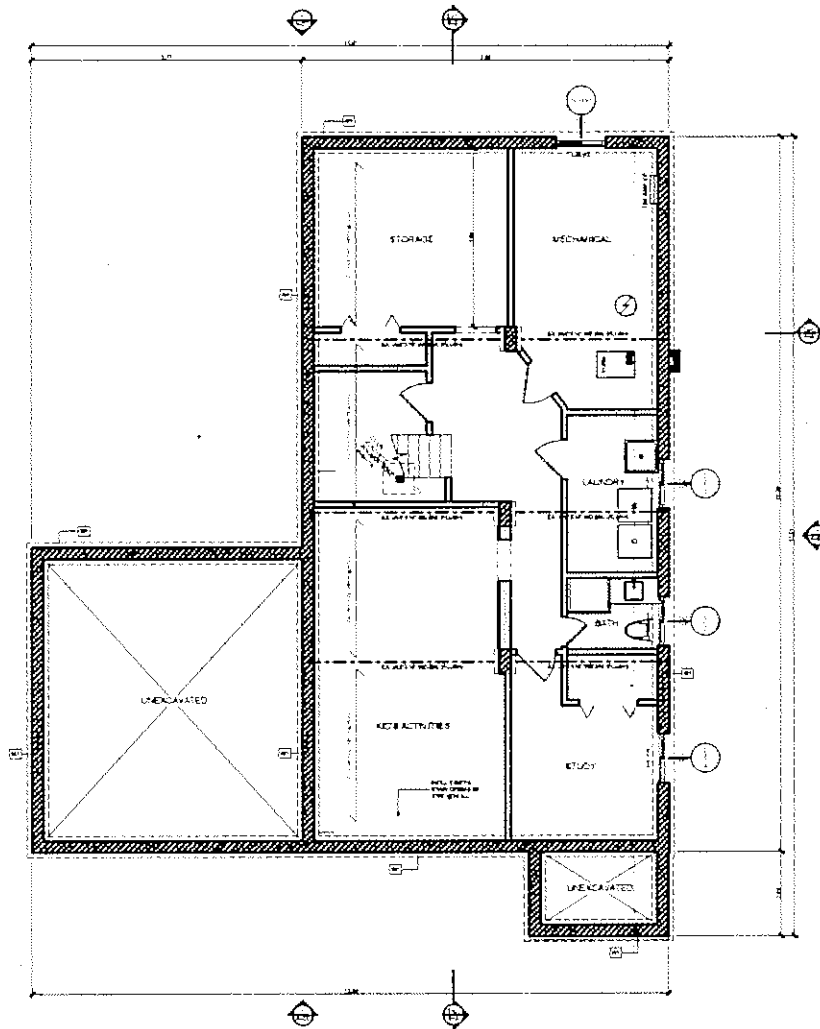
Accuvision 2008 Inc.  
 75 Parkside Avenue  
 Cambridge, ON N1R 2S3  
 T: 519 271 2666  
 Email: rveale@accuvis.com

**ACCURVISION HOME ADDITIONS INC.**  
 Proposed Second Storey Addition & Interior  
 Home Address: 62 Balfour Street, Upper Canada Village  
 Client: Richard Veale & Marjorie P.

Drawn By: RHB  
 Scale As Indicated  
 Printing Date: 24/04/2019  
 Project No.: ACC201901001

**Ground Floor Demolition Plan**  
**A-11**

**1** Ground Floor Demolition Plan (Metric)  
 SCALE: 1:100



**1** Proposed Foundation Plan (Metric)  
SCALE: 1:100

Sheet Name	Layer
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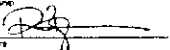
**Declaration of Design**

I, **Accuvision**, declare that I am the sole and responsible party for the design work on behalf of a firm registered under subsection 7.174 of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories in the schedule ECN 23222.

Form ECN 23222

I declare that:

- The information contained in the schedule is true to the best of my knowledge.
- I have authority to bind the corporation or partnership.

Signature: 

**Accuvision**

Accuvision 2000 Inc.  
75 Kildale Road  
Cambridge ON N1C 2G2  
Tel: 519.241.9498  
email: rch@accuvis.com  
The name and number of all registered firms

**HOME ADDITIONS INC**

Proposed Second Storey Addition & Interior Remodeling to:  
83 Kestrel Road  
Markham Ontario L3T 5J7

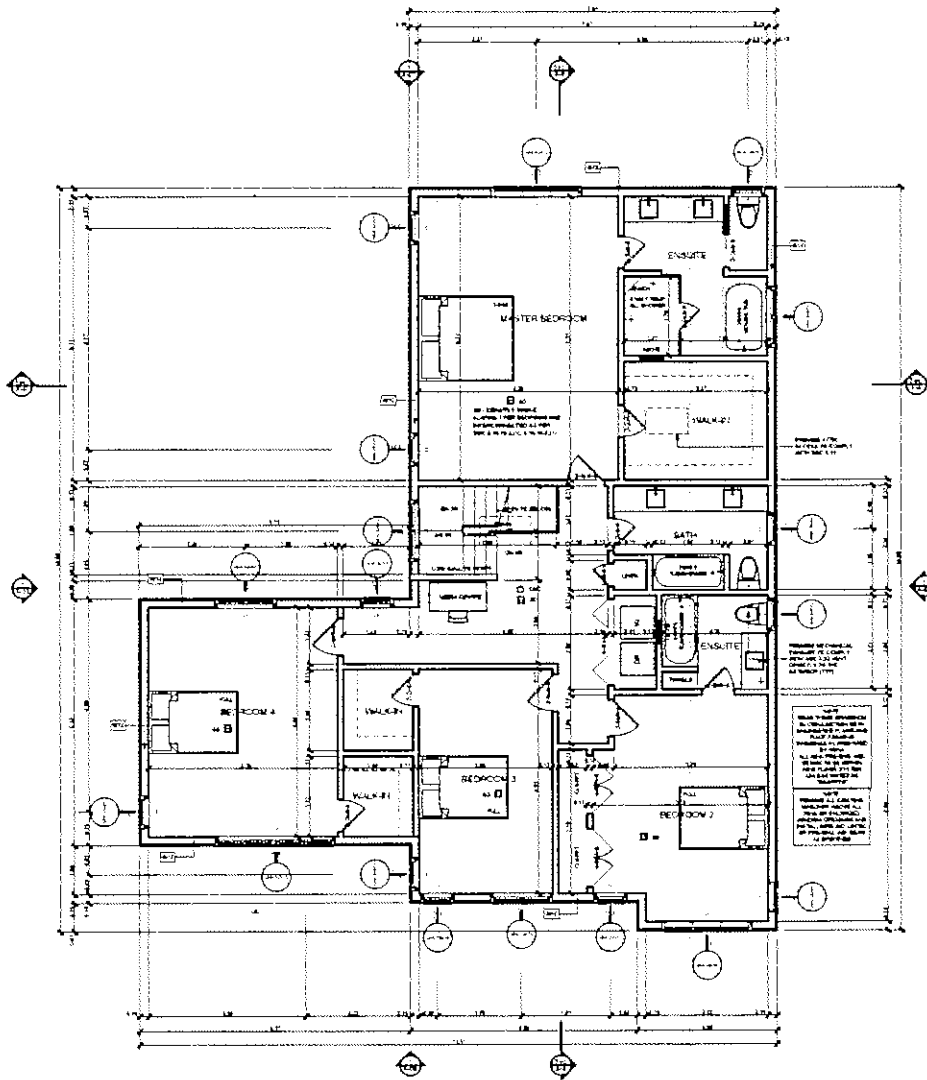
Client: Barbara Wang & Mac Wang P.

Drawn By: RHB  
Scale: As Indicated  
Printing Date: 24/04/2019  
Project No. ACC20191001

**Proposed Foundation Plan**

**A-12**





**1** Proposed Second Floor Plan (Metric)  
SCALE: 1:100

Sheet Name	Page
1.01	1
1.02	2
1.03	3
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**General Notes**  
 All drawings are for the purpose of the design only.  
 All dimensions are in metric units unless otherwise noted.  
 All dimensions are to the center of the wall unless otherwise noted.  
 All dimensions are to the center of the wall unless otherwise noted.  
 All dimensions are to the center of the wall unless otherwise noted.

**Declaration of Designer**  
 I, the undersigned, declare that I am a duly licensed and registered professional engineer under subsection 7.1(4) of the Building Code, 1995, and I am qualified and I am qualified to prepare and certify the drawings and specifications for the proposed building.  
 I certify that:  
 1. The information contained in the schedule is true to the best of my knowledge.  
 2. I have authority to bind the contractor or subcontractor.  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

**Accuvision**  
 Accuvision 2000 Inc.  
 75 De La Salle Avenue  
 Cambridge, ON N1C 2S4  
 1-877-231-2660  
 email: info@accuvision.com  
 "The Leader in the Field of Home Additions"

**MODULAR HOME ADDITIONS INC.**  
 Proposed Second Storey Addition to Existing Residence for  
 83 Balfour Street  
 Markham, Ontario L3R 1J7  
 Client: Robert & Cheryl & Meli Webb F.

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 2/24/2019  
 Project No.: ACC201901001

Proposed Second Floor Plan  
**A-14**



Sheet Index	
1	1.00
2	2.00
3	3.00
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**General Notes**  
 All drawings shall be prepared in metric units.  
 All drawings to be checked and sealed by the owner or contractor.  
 The owner, being the designer of any drawings, shall be responsible for their accuracy.  
 Failure to do so will not release the contractor from their legal liability for additional work.

**Declaration of Designer:**  
 I, **Richard J. Smith**, declare that I have a good and true knowledge of the design work on behalf of a firm registered under Subsection 17-1 of the Building Code. I am qualified and the firm is registered in the appropriate license category.  
 Individual: **SCJ**  
 Firm: **SCJ**  
 I certify that:  
 1. The information contained in the schedule is true to the best of my knowledge.  
 2. I have a liability to bond the completion of the project.

Signature: *[Signature]*

No.	Description	Date
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**Accuvision**

Accuvision 2000 Inc.  
 77 Ridgeway Avenue  
 Cambridge, ON N3C 2S3  
 Tel: 519 281 3448  
 Email: rj@accuvis.com  
 "The industry's most advanced design solutions"

**HOMESIDE HOME ADDITIONS INC.**  
 Providing Second Storey Additions & Interiors  
 Remodeling to:  
 32 Colfax Road  
 Markham, Ontario L3T 3J7  
 Cheryl Orchard Living & More Living To

Drawn By: RMB  
 Scale: As Indicated  
 Printing Date: 24/04/2019  
 Project No.: ACC201901001

**1** Proposed North Elevation (Metric)  
 SCALE: 1:75

Proposed North Elevation:  
**A-15**



Sheet Index	
No.	Designation
1	Plan
2	Section
3	Foundation
4	Roofing
5	Interior
6	Exterior
7	Detail
8	Notes
9	Specifications
10	Contract Documents
11	General Notes
12	Site Plan
13	Site Section
14	Site Elevation
15	Site Section
16	Site Elevation
17	Site Section
18	Site Elevation
19	Site Section
20	Site Elevation
21	Site Section
22	Site Elevation
23	Site Section
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93	Site Section
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99	Site Section
100	Site Elevation

**General Notes**  
 01. All drawings are the property of the design professional.  
 02. All drawings are the property of the design professional.  
 03. All drawings are the property of the design professional.  
 04. All drawings are the property of the design professional.  
 05. All drawings are the property of the design professional.  
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 08. All drawings are the property of the design professional.  
 09. All drawings are the property of the design professional.  
 10. All drawings are the property of the design professional.

**Declaration of Designer**  
 I, John Doe, declare that I am a duly licensed and qualified professional engineer and take responsibility for the design work on behalf of a firm registered under subsection 11-174 of the Building Code. I am qualified and the firm is registered in the appropriate jurisdiction.  
 Firm Name: ABC Engineering  
 License No.: 12345  
 I, the undersigned, certify that the information contained in the attached is true to the best of my knowledge.  
 I have no objection to the preparation or containing.  
 Signature: [Signature]  
 Title: Designer

**Accuvision**

Accuvision 2000 Inc.  
 72 Capistrano Avenue  
 Capistrano, CA 92510-7537  
 Phone: 951.241.3446  
 Email: info@accuvision.com  
 "The nation's #1 Architectural Vinyl Siding"

**HOME ADDITIONS INC.**

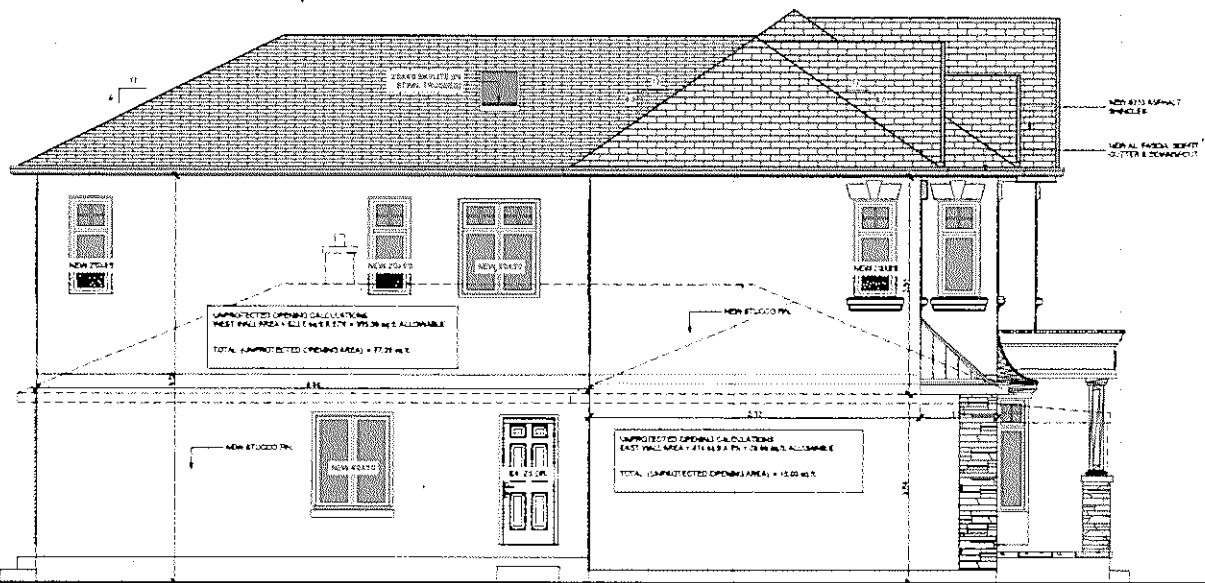
Proposed Second Story Addition & Interior Remodeling  
 32 Canyon Road  
 Menlo Park, CA 94025  
 Client: Arlene & Bob Berg, Inc.

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 2/04/2018  
 Project No.: ACC201901001

Proposed South Elevation  
**A-16**

**1** Proposed South Elevation (Metric)  
 SCALE: 1:75





Item	Notes
1.01	Foundation
1.02	Foundation
1.03	Foundation
1.04	Foundation
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1.43	Foundation
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1.46	Foundation
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**Standard Notes:**  
 1. All dimensions are given in metric unless otherwise noted.  
 2. All work shall be in accordance with the Ontario Building Code (OBC) and the National Building Code of Canada (NBC).  
 3. The Designer is not responsible for the accuracy of the information provided by the client.  
 4. The Designer is not responsible for the accuracy of the information provided by the client.

**Declaration of Designer:**  
 I, the Designer, declare that I have and take responsibility for the design work or part of a firm registered under the Ontario Building Code Act and the Ontario Building Code. I am qualified and the firm is registered in the appropriate Ontario category (Professional OBC, 2022) Firm (OCP) 22222

I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have not been involved in the preparation or preparation of this schedule.

Signature: *[Signature]*

No.	Description	Date
1		
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DATE: \_\_\_\_\_

**Accuvision**

Accuvision 2020 Inc.  
 125 Scarborough Avenue  
 Scarborough, ON M1B 2Y3  
 T: 416-291-2446  
 email: info@accuvision.com  
 The road to a better way of living.

**HOME ADDITIONS INC.**

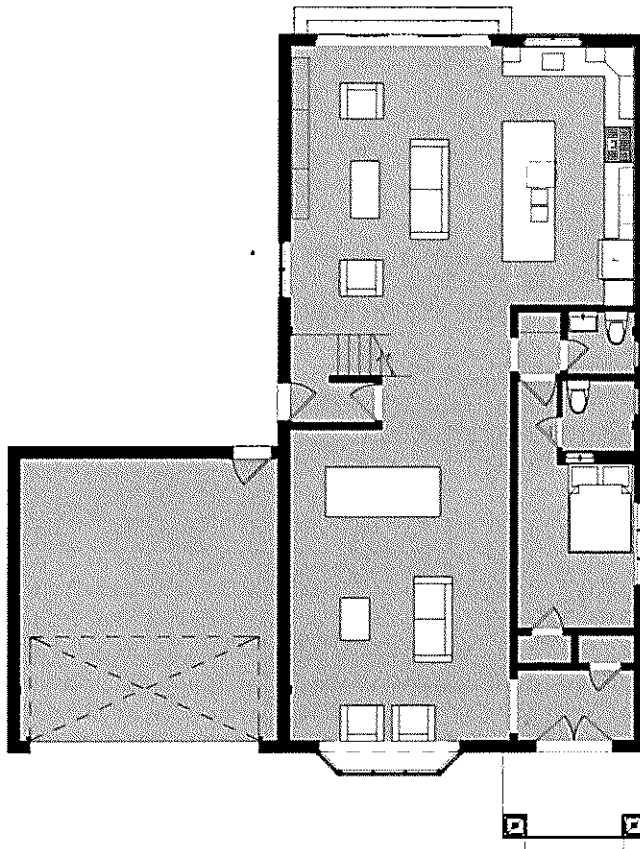
Proposed Second Storey Addition & Interior Renovation to:  
 31 Conway Road  
 Markham, Ontario L3T 2J7

Client: Gerhard Wang & Marlene Yu

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 24/04/2018  
 Project No.: ACC201901001

**Proposed West Elevation**  
**A-18**

**1 Proposed West Elevation (Metric)**  
 SCALE: 1/75



Existing Ground Floor Area  
002  
A: 158.59 m<sup>2</sup>

1

Existing Ground Floor Area (Metric)

SCALE: 1:100

Sheet Index	
No.	Location
001	Site Plan
002	Foundation
003	First Floor
004	Second Floor
005	Third Floor
006	Fourth Floor
007	Fifth Floor
008	Roof Deck
009	Basement
010	Garage
011	Pool
012	Other

**General Notes**  
All drawings issued by the company are the property of the company.  
Do not make alterations.  
All dimensions are in millimeters and rounded up to the nearest millimeter.  
All work shall conform to the requirements of the Building Code of the City of Toronto.  
Plans to be used for construction shall show the location of the structural steel.

**Declaration of Designer:**  
I, **Richard H. Hobbie**, declare that I have read and take responsibility for the design work on behalf of a firm registered under subsection 2.17.1 of the Building Code. I am qualified and the firm is registered in the appropriate classes/categories.  
Individual BCN: 22882  
Firm BCN: 12082  
I certify that:  
1. The information contained in the schedule is true to the best of my knowledge.  
2. I have obtained the consent or cooperation of the owner.  
*[Signature]*  
Signature

No.	Description	Date
1		
2		
3		
4		

**Accuvision**

Accuvision, 2222 Ave.  
75 E. Beaver Avenue  
Cambridge, ON N3C 2S1  
1-877-241-3444  
email: [info@accu.com](mailto:info@accu.com)  
Telephone: 1-877-241-3444

**MODERN HOME ADDITIONS INC.**  
Proposed Second Storey Addition & Interior  
Revised by:  
B. O'Connell  
Markham, Ontario L3R 8V7  
2222 Beaver Avenue & Milliken Tr.

Drawn By: RHB  
Scale: As Indicated  
Printing Date: 2/24/2019  
Project No.: ACC201901001

Existing Ground Floor Area  
**A-19**







IC	Symbol	Notes
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2	2	2
3	3	3
4	4	4
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98	98	98
99	99	99
100	100	100

**General Notes**  
 1. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 2. All dimensions shall be in metric unless otherwise specified.  
 3. All materials shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 4. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 5. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 6. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 7. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 8. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 9. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.  
 10. All work shall be in accordance with the Ontario Building Code and all applicable codes and standards.

**Declaration of Designer**  
 I, **RHB**, hereby declare that I am a registered professional engineer under the Ontario Engineering Council Act, 1990, and I am qualified and licensed to provide engineering services in the province of Ontario.  
 I certify that:  
 1. The information contained in this schedule is true to the best of my knowledge.  
 2. I have authority to bind the corporation or partnership.  
 Signature: *[Signature]*

**1 Section B-B (Metric)**  
 SCALE: 1:75

**Accuvision**

Accuvision 2020 Inc.  
 75 Reardon Avenue  
 Cambridge, ON N1C 1S0  
 Tel: 519-241-5668  
 Email: rcc@accuvision.com  
 Website: www.accuvision.com

**HOME ADDITIONS INC.**

Proposed Second Storey Addition & Interior  
 Home Address: 31 Suterby Road  
 Markham, Ontario L3T 3J7  
 Client: Richard Jiang & Man-Jing Li

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 24/04/2019  
 Project No. ACC201901001

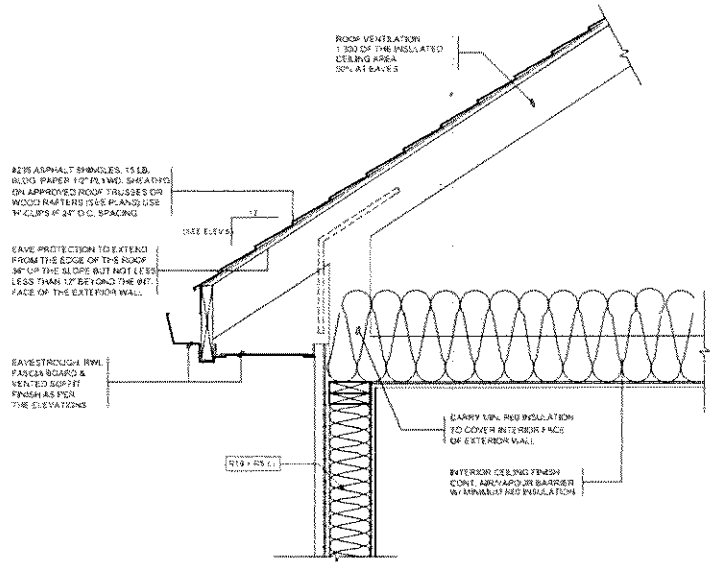
**Section B-B  
 A-22**



1

Eave Detail - (Stucco) Metric

SCALE: 1:15



General Notes	
1.	See drawing for the property of the design company.
2.	Do not scale drawings.
3.	All dimensions to be checked and marked on the job in accordance with any notes. Before Design or any construction prior to construction. Failure to do so will not release the contractor from liability and reading the additional work.
4.	See Site Plan
5.	See Elevation
6.	See Section
7.	See Detail
8.	See Schedule
9.	See Specification
10.	See Appendix
11.	See Appendix
12.	See Appendix
13.	See Appendix
14.	See Appendix
15.	See Appendix
16.	See Appendix
17.	See Appendix
18.	See Appendix
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48.	See Appendix
49.	See Appendix
50.	See Appendix

General Notes  
 1. See drawing for the property of the design company.  
 2. Do not scale drawings.  
 3. All dimensions to be checked and marked on the job in accordance with any notes. Before Design or any construction prior to construction. Failure to do so will not release the contractor from liability and reading the additional work.

Declaration of Designer  
 I, **Erica Burgess**, declare that I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4 of the Building Code. I am a architect and the firm is registered in the appropriate class(es) as follows:  
 Architectural (SCEP) 22334  
 Firm Name: **ACCVISION**  
 I, the registration obtained in this schedule is true to the best of my knowledge.  
 I have authority to sign the corporation or partnership.

Signature: *[Signature]*

No.	Description	Date
1		
2		
3		
4		

PS:RCD



Accuvision 2000 Inc.  
 75 Redwood Avenue,  
 Centerville, UT 84302-7922  
 1-512-241-3448  
 email: rcdesign19@gmail.com  
 "The name that has become a design tradition"



Proposed Second Storey Addition & Interior  
 Revisions to:  
 32 Canyon Road  
 Mountain View, UT 84117  
 Client: Ronald Young & Mary Jane Yu

Drawn By: RHB  
 Scale: As Indicated  
 Printing Date: 24/04/2019  
 Project No. ACC201901001

Detail  
**A-24**

