

Memorandum to the City of Markham Committee of Adjustment

May 15th, 2019

File: A/40/19
Address: 63 Fonthill Blvd, Markham
Applicant: Tanya DeGregario-Boichevski, Verka & Boris Boichevski
Agent: SDG Design (Stefano Di Giulio)
Hearing Date: Wednesday May 29, 2019

The following comments are provided on behalf of the Central Team:

The applicant is requesting relief from the following requirements of By-law 11-72, R4 as amended:

- a) **Section 6, Schedule B:**
a maximum lot coverage of 38.1 percent, whereas the By-law permits a maximum lot coverage of 33-1/3 percent;
- b) **Section 6, Schedule B:**
a minimum front yard setback of 24 ft, whereas the By-law requires a minimum front yard setback of 27 ft;
- c) **Section 3.7:**
a minimum front uncovered porch and stair setback of 21 ft 1 in, whereas the By-law requires a minimum setback of 22 ft;
- d) **Section 6, Schedule B:**
a maximum height of 27 ft 3 1/4 in, whereas the By-law permits a maximum height of 25 ft;
- e) **Section 3.7:**
a maximum side yard eave projection of 2 ft, whereas the By-law permits a maximum eave projection of 1 ft 6 in;

as it relates to a proposed single detached dwelling.

BACKGROUND

Property Description

The 737.82 m² (7,941 ft²) subject property is located on the west side of Fonthill Boulevard, south of Pomander Road and west of Main Street Unionville. The property is located within an established residential neighbourhood known as Varley Village characterized by a mix of one, and two-storey detached dwellings. Vegetation exists across the property including one mature tree in the front yard. There is an existing one-storey detached 210.5 m² (2,266 ft²) dwelling on the property, which according to the applicant was constructed in 1969.

Proposal

The applicant is proposing to construct a new two-storey detached dwelling with a rear covered porch, attached two-car garage and rear basement walkout.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the 'Residential Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a 'Residential Low Rise' area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood.

Zoning By-Law 11-72

The subject property is zoned R4 under By-law 11-72, as amended, which permits a single detached dwelling. The proposed dwelling does not comply with the by-law with respect to maximum lot coverage, minimum front yard setback, minimum front uncovered porch and stair setback, maximum height and maximum side yard eaves projection.

Varley Village Infill Area

The subject property is within an area of the City where there is a trend to build larger houses. In response to concerns within this trend, a number of residents asked that Markham consider an infill housing by-law for the Varley Village neighbourhood. The Unionville Sub-Committee, a Committee of Council, undertook a review of this issue with community consultation, and ultimately recommend that no action be taken on an infill by-law at this time. This position was endorsed by Development Services Committee on June 19, 2012. As such, the existing by-law standards continue to apply.

Notwithstanding that an infill by-law as not adopted, the Committee should be aware of Council's and the community's concerns with regard to variances and maintaining the current standards of the Zoning By-law. Consequently, the Committee should consider public input before making a decision.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"There is an additional total coverage of 4.76% (381 df) because of the existing 106 SF shed to remain on the property, and as per the design layout of the home there is only 275 SF of additional lot coverage due to the designing of both the 117 SF open roof canopy in front of the garage and be cause of the 1-storey exterior rear covered porch measuring 282 SF.*

Re: Front Porch Schedule B of by-law 11-72, as amended, requires a minimum front yard setback to the main building of 27 feet. No encroachment provisions exist to permit a covered porch to project into the required front yard setback. Section 3.7 permits a maximum encroachment of 5 feet for an uncovered platform (and stairs).

Therefore:

- Minimum setback to a covered portion of the porch = 27 feet*
- Minimum setback to an uncovered porch and stairs = 22 feet*

Re : Garage Canopy

Section 4.7.5 of by-law 11-72, as amended, permits attached garages to be located a minimum of 20 feet from the front lot line. Provided the proposed garage canopy maintains a minimum setback of 20 feet to the support posts no variance will be required. The roof overhang is permitted to encroach a further 18" in accordance with Section 3.7.

Therefore: – Minimum setback to the posts of the garage canopy = 20 feet
 – Minimum setback to the roof/gutter of the garage canopy = 18'-6"."

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 8.31 m (27.27 ft), whereas the By-law permits a maximum building height of 7.62 m (25 ft). This represents an increase of approximately 0.69 m (2.27 ft).

The height variance is in part attributable to the fact that the grade height of the centreline (crown) of the street is lower than the proposed average grade of the property. While the height of the proposed dwelling will be larger than the existing homes originally developed in the 1960s, it is similar in scale to a other infill residential developments in the immediate vicinity.

Increase in Maximum Lot Coverage

The applicant is requesting relief for a maximum lot coverage of 38.1 percent, whereas the By-law permits a maximum lot coverage of 33.33 percent. The proposed lot coverage includes front and rear covered porches which add approximately 6.50 m² (70 ft²) and 26.2 m² (282 ft²) respectively to the overall building area. The proposed lot coverage also includes an existing shed located at the rear of the property which adds approximately 9.85 m² (106 ft²) to the total lot coverage. Excluding the covered porches, the building with the existing shed has a lot coverage of approximately 32.36 percent and would comply with the by-law requirement. Given the covered porches are unenclosed, staff are of the opinion that the proposed increase in lot coverage will not significantly add to the scale and massing of the dwelling and is generally consistent with what the by-law permits.

Reduction in Front Yard Setback

The applicant is requesting relief to permit a minimum front yard setback of 24 ft (7.32 m), whereas the By-law requires a minimum front yard setback of 27 ft (8.23 m). This represents a reduction of approximately 3 ft (0.91m). The variance is entirely attributable to the garage canopy, which projects approximately 5.5 ft (1.68 m) from the garage. The main front wall of the building provides

a front yard setback of 27 ft (8.23 m) which, complies with the minimum front yard setback requirement. Given that the variance is attributable to the proposed garage canopy and, that the main dwelling complies with the required front yard setback, staff are of the opinion that the variance request is appropriate for the development.

Reduction in Minimum Front Porch and Stair Setback

The applicant is requesting a minimum front uncovered porch and stair setback of 21.08 ft (6.43 m), whereas the By-law requires a minimum front uncovered porch and stair setback 22 ft (6.71 m). This represents a reduction of approximately 0.92 ft (0.28 m). Staff are of the opinion that the requested variance is minor in nature.

Increase in Maximum Side Eaves Projection

The applicant is requesting a maximum eaves encroachment of 2 ft (0.61 m) into the side yard, whereas the By-law permits maximum eaves encroachment of 1.5 ft (0.46 m). Given that the proposed dwelling will maintain the required setback and that the variance request only applies to the front portion of the dwelling, staff have no objections.

PUBLIC INPUT SUMMARY

No written submissions were received as of May 14, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:




Richard Kendall, Development Manager, Central District
File Path: Amanda\File\ 19 118431 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/40/19

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on April 26, 2019, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations; and
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

CITY OF MARKHAM
RECEIVED
APR 26 2019
COMMITTEE OF ADJUSTMENT

RYCROFT DRIVE

REGISTERED
LOT 163

LOT 162

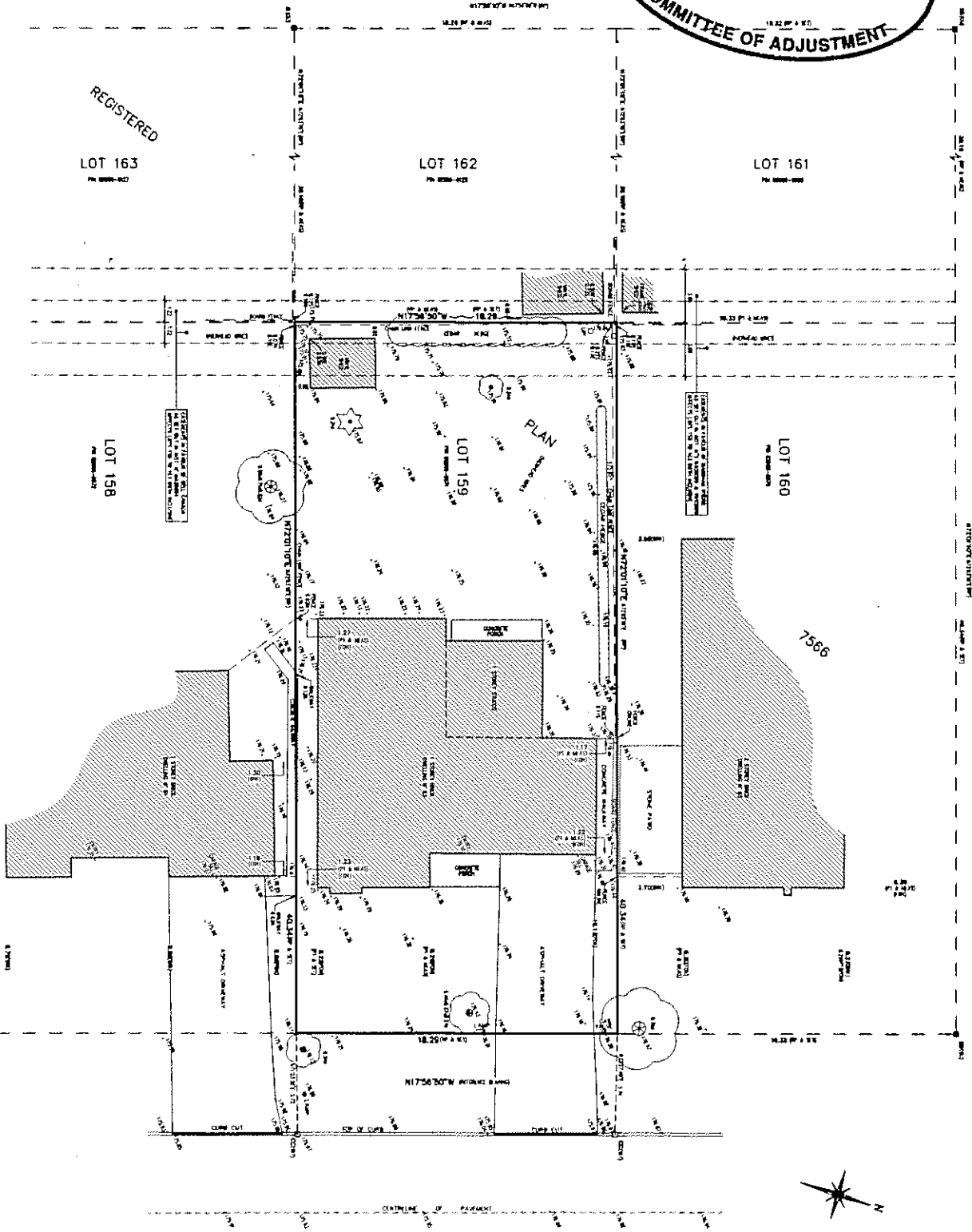
LOT 161

LOT 158

LOT 159

LOT 160

KRIECHOFF AVENUE



FONHILL BOULEVARD

SURVEYOR'S REAL PROPERTY REPORT

PART 1: PLAN OF
 REGISTERED PLAN 7566
 CITY OF MARKHAM
 OFFICIAL SURVEYOR OF YORK
 E.M. BOWEN B.Sc., O.L.S.

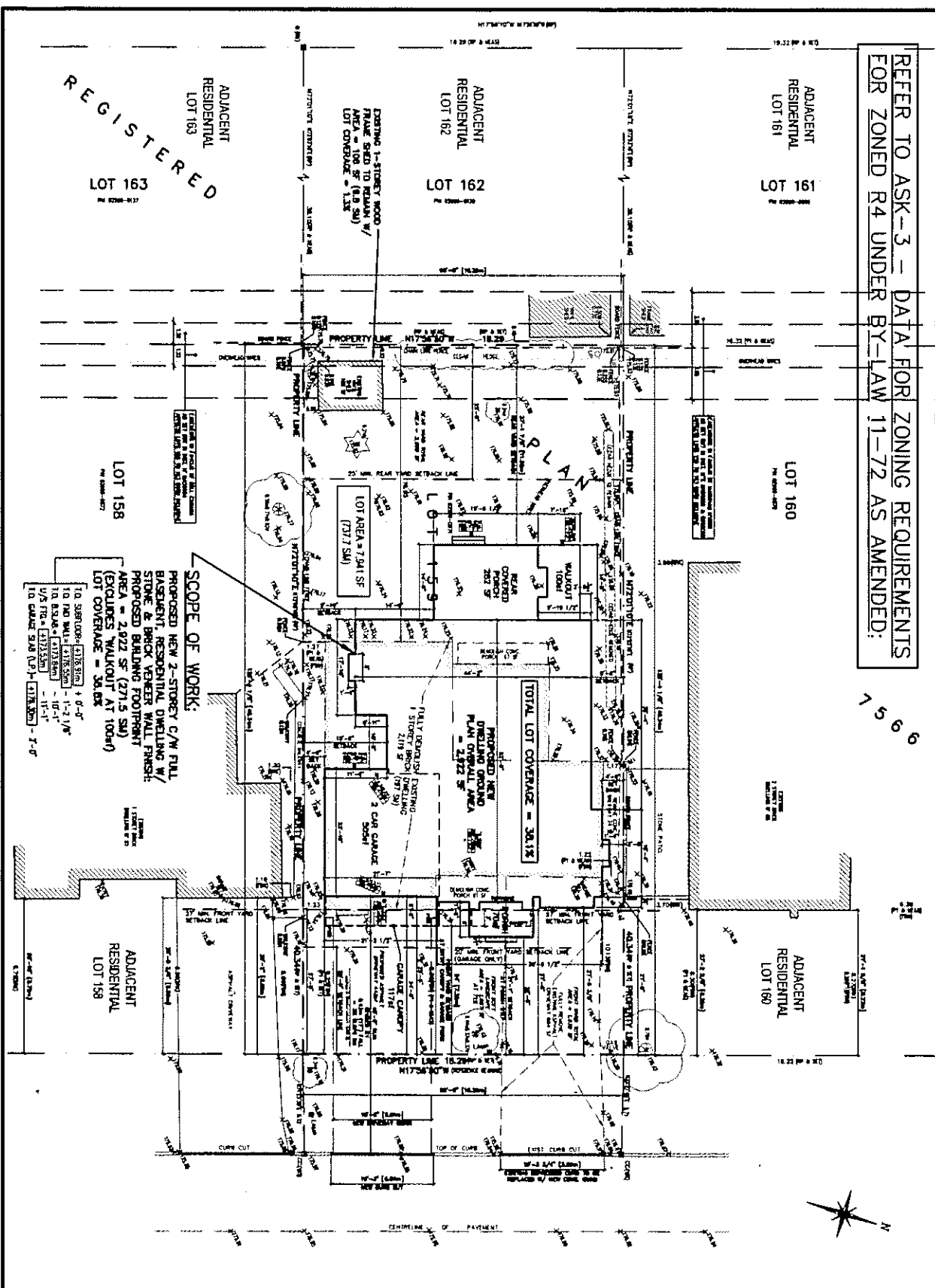
PART 2: SUMMARY
 1 - THIS REPORT HAS PREPARED FOR THE CITY OF MARKHAM & I HEREBY
 2 - WARRANT TO THE CITY OF MARKHAM AS SHOWN, 15/03/2019 10:00 AM.
 3 - I HAVE NOT CONDUCTED A VISUAL INSPECTION OF THE PROPERTY.
 4 - I HAVE NOT CONDUCTED A VISUAL INSPECTION OF THE PROPERTY.
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 10 - I HAVE NOT CONDUCTED A VISUAL INSPECTION OF THE PROPERTY.

REGISTERED
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ASSOCIATION OF OWNERS
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REMARKS
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REFER TO ASK-3 - DATA FOR ZONING REQUIREMENTS FOR ZONED R4 UNDER BY-LAW 11-72 AS AMENDED:



SCOPE OF WORK:
 PROPOSED NEW 2-STORY C/W FULL BASEMENT, RESIDENTIAL DWELLING W/ STONE & BRICK VENEER WALL FINISH; PROPOSED BUILDING FOOTPRINT AREA = 2,922 SF (271.5 SQ) (EXCLUDES WALKOUT AT 100sqft) LOT COVERAGE = 36.1%

10.0' SIDEWALK (17.5' SQ) 1-0'-0"
 10.0' SIDEWALK (17.5' SQ) 1-2'-0"
 10.0' SIDEWALK (17.5' SQ) 1-2'-0"
 10.0' SIDEWALK (17.5' SQ) 1-2'-0"
 10.0' SIDEWALK (17.5' SQ) 1-2'-0"
 10.0' SIDEWALK (17.5' SQ) 1-2'-0"

FONTHILL BOULEVARD

 CUSTOM HOMES & ADDITIONS 416.909.4452 34 ELM STREET MARKHAM, ONT., L3P 2V5 CELL 416-909-4452 FAX 905-201-2275 sgd@sdgdesign.com	PROJECT PROPOSED CUSTOM HOME 63 FONTHILL BOULEVARD, MARKHAM, ON L3R 1V5	PROJECT No. 18-010
	SUBJECT 'THE DE GREGORIO & BOICHEVSKI RESIDENCE' SITE PLAN WITH PROPOSED NEW CUSTOM HOME	REFER TO ASK-1 to ASK-11 ISSUED FOR: C.O.A. HEARING
DRAWN BY: SDG ISSUE DATE: 28 MAR 2019 SCALE: 1 : 200	DWG. No. ASK-2	
PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE		

DATA FOR ZONING REQUIREMENTS FOR ZONED R4 UNDER BY-LAW 11-72 AS AMENDED:

- i) ACTUAL LOT AREA = 60.00 FT. LOT FRONTAGE X 132.35 FT. LOT DEPTH => 7,941 SQ.FT. (737.7 SM)
- ii) MAX. ALLOWABLE LOT COVERAGE SET AT 33-1/3% OF LOT AREA = 2,647 SQ.FT. (245.9 SM)
- iii) AREA OF PROPOSED FRONT PORCH = 70 SQ.FT. (6.5 SQ.M.)
- iv) AREA OF PROPOSED REAR COVERED PORCH = 282 SQ.FT. (26.2 SQ.M.)
- v) AREA OF GARAGE FRONT CANOPY = 117 SQ.FT. (10.9 SQ.M.)
- vi) AREA OF PROPOSED REAR WALK-OUT = 100 SQ.FT. (9.3 SQ.M.)
- vii) PROPOSED GROUND LEVEL GROSS FLOOR AREA = 2,453 SQ.FT. (227.9 SQ.M.)
- viii) PROPOSED SECOND LEVEL GROSS FLOOR AREA = 2,350 SQ.FT. = (218.3 SQ.M.)

- ix) PROPOSED DWELLING'S TOTAL LOT COVERAGE AREA = (70 + 282 + 117 + 2,453) SQ.FT. = 2,922 SQ.FT. (271 SQ.M.).
 2,922 SQ.FT. OF DWELLING COVERAGE AREA DIVIDED BY ACTUAL LOT AREA OF 7,941 SQ.FT. = 36.8% LOT COVERAGE
 IS GREATER THAN THE MAX. ALLOWABLE LOT COVERAGE OF 33-1/3% AND DOES NOT COMPLY WITH THE ZONING BY-LAW.
 THUS, THE PROPOSED DWELLING DESIGN SUBMISSION REQUIRES C.O.A. APPROVAL TO PROCEED.
NOTE: MINOR VARIANCE - REQUIRE RELIEF OF 3.46% OF ADDITIONAL LOT COVERAGE
 106 SQ.FT. OF AN EXISTING REAR YARD WOOD FRAME SHED TO REMAIN ON THE SUBJECT PROPERTY CONTRIBUTES AN
 ADDITIONAL = 1.3 % LOT COVERAGE.
 TOTAL LOT COVERAGE = 38.1% IS GREATER THAN AND DOES NOT CONFORM WITH THE R4 DESIGNATION OF ZONING BY-LAW 11-72
 REQUIREMENTS OF THE MAXIMUM LOT COVERAGE OF 33-1/3%.
NOTE: MINOR VARIANCE - REQUIRE TOTAL RELIEF OF 4.76% (378 SQ.FT.) OF ADDITIONAL LOT COVERAGE

- x) PROPOSED DWELLING'S FRONT YARD SETBACK HAS BEEN DESIGNED AT 24'-0" MEASURED TO THE EDGE OF THE OPEN ROOF CANOPY OVER
 THE FRONT ENTRANCE AND ALSO MEASURED AT 24'-0" TO THE PIERS OF THE GARAGE'S OPEN FRONT ROOF CANOPY, AND THESE EXCEED
 THE ALLOWABLE MINIMUM FRONT YARD SETBACK OF 27'-0" BY 3'-0", AND DOES NOT CONFORM WITH THE ZONING BY-LAW REQUIREMENT.
 THUS, THE PROPOSED DWELLING DESIGN SUBMISSION REQUIRES C.O.A. APPROVAL TO PROCEED.
NOTE: MINOR VARIANCE - REQUIRE RELIEF OF 3'-0" FROM THE FRONT YARD SETBACK
 - NOTE THAT THE MAIN FRONT WALLS OF THE 2 STOREY DWELLING ARE ALL SETBACK AT 27'-0" AND GREATER TO 29'-6".

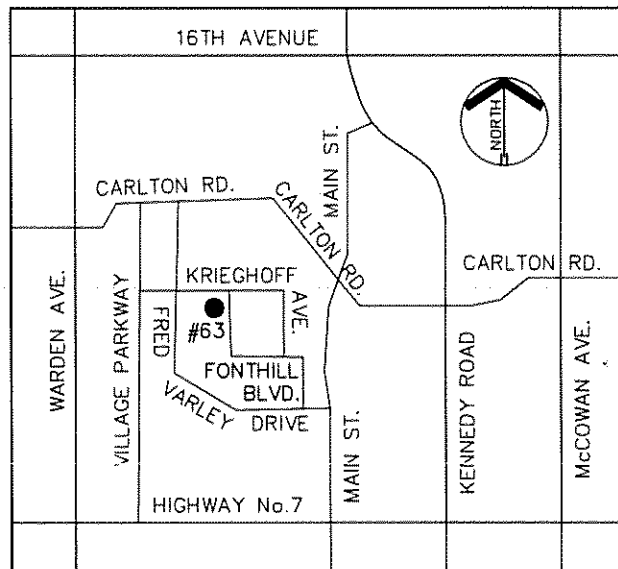
- xi) PROPOSED DWELLING'S FRONT PORCH STEP HAS A 21'-1" SETBACK TO THE FRONT YARD PROPERTY LINE,
 AND THE MIN. SETBACK TO AN UNCOVERED PORCH & STAIRS IS SET AT 22'-0".
NOTE: MINOR VARIANCE - REQUIRE RELIEF OF 0'-11" FROM THE FRONT YARD SETBACK MINIMUM OF 22'-0"

- xii) PROPOSED 2-STOREY DWELLING HAS BEEN DESIGNED WITH THE BUILDING HEIGHT AT ITS ROOF PEAK MEASURED
 VERTICALLY AT 30'-9 3/8" (9.38m) FROM THE TOP OF GROUND SUBFLOOR SET AT GEOD. +176.91m (ELEV. + 0'-0").
 ** THE AVERAGE GRADE HAS BEEN ESTABLISHED AT BEING 2'-1 1/8" BELOW THE TOP OF GROUND SUBFLOOR AND IS SET AT
 GEOD. +176.27m (ELEV. - 2'-1 1/8").
 - NOTE THE EXISTING STREET CROWN HAS BEEN SURVEYED AT GEOD. +175.95m (ELEV. - 3'-1 3/4").
 THE PROPOSED BUILDING HEIGHT HAS BEEN MEASURED FROM AVERAGE GRADE TO THE MIDPOINT (EAVES TO PEAK) OF THE MAIN ROOF
 TO BE 27'-3 1/4" AND EXCEEDS THE ALLOWABLE 25'-0" MAXIMUM BUILDING HEIGHT BY 2'-3 1/4", AND DOES NOT
 CONFORM WITH THE ZONING BY-LAW REQUIREMENT.
 THUS, THE PROPOSED DWELLING DESIGN SUBMISSION REQUIRES C.O.A. APPROVAL TO PROCEED.
NOTE: MINOR VARIANCE - REQUIRE RELIEF OF 2'-3 1/4" ADDITIONAL BUILDING HEIGHT

- xiii) DWELLING'S PROPOSED GABLE END ROOF EAVES AT THE SECOND STOREY LEVEL AT BOTH THE SIDE NORTH ELEVATION
 AND THE SIDE SOUTH ELEVATION HAVE BEEN DESIGNED WITH A BOTTOM PROJECTION (OR OVERHANG) OF 2'-0",
 THUS EXCEEDING THE PERMITTED YARD ENCROACHMENT (UNDER BY-LAW SECTION 3.7) SET AT 1'-6".
 THUS, THE PROPOSED DWELLING DESIGN SUBMISSION REQUIRES C.O.A. APPROVAL TO PROCEED.
NOTE: MINOR VARIANCE - REQUIRE RELIEF FOR WIDTH OF EAVES WITH 6" ADDITIONAL SIDE YARD ENCROACHMENT.

SITE STATISTIC FOR No. 63 FONTHILL BOULEVARD			
	CALCULATION NOTES	PROPOSED FLOOR AREA	TOTAL FLOOR AREA
FRONT PORCH	- NOT INCLUDED IN GFA CALCULATION	70 SQ.FT.	70 SQ.FT.
REAR PORCH	- NOT INCLUDED IN GFA CALCULATION	282 SQ.FT.	282 SQ.FT.
2 CAR GARAGE	N/A	505 SQ.FT.	505 SQ.FT.
GARAGE CANOPY	- NOT INCLUDED IN GFA CALCULATION	117 SQ.FT.	117 SQ.FT.
STAIRWELL VOID	- REDUCES GRND FLR GFA CALCULATION	-13 SQ.FT.	-13 SQ.FT.
GROUND FLOOR LIVING	N/A	1,948 SQ.FT.	1,948 SQ.FT.
TOTAL LOT AREA COVERAGE	N/A	2,922 SQ.FT.	2,922 SQ.FT.
REAR WALKOUT	- NOT INCLUDED IN LOT COVERAGE	100 SQ.FT.	100 SQ.FT.
SECOND FLOOR AREA	N/A	2,350 SQ.FT.	2,350 SQ.FT.
SECOND FLOOR VOID	- REDUCES 2ND FLOOR GFA CALCULATION	-13 SQ.FT.	-13 SQ.FT.
SECOND FLOOR LIVING	N/A	2,337 SQ.FT.	2,337 SQ.FT.
LOT AREA (18.29m X 40.34m)		737.82 SM = 7,941 SQ.FT.	
LOT COVERAGE		2,922 SQ.FT. / 7,941 SQ.FT. = 36.8 %	

SITE PLAN DATA FOR ZONING REVIEW	
a) FRONT YARD TOTAL AREA = 1,539 SQ.FT. (143 SM)	
b) FRONT YARD HARD LANDSCAPING = 442 SQ.FT. (41 SM)	- EQUALS 29.0% of Front Yard
c) FRONT YARD SOFTED & SOFT LANDSCAPING = 1,097 SQ.FT. (102 SM)	- EQUALS 71.0% of Front Yard
d) REAR YARD TOTAL AREA = 2,680 SQ.FT. (249 SM)	- REAR YARD SOFTED & SOFT LANDSCAPING at 100% = 2,680 SQ.FT. (249 SM)
Note: NO REAR YARD HARD LANDSCAPING (No additional walkways or patios proposed)	



1 SITE KEY PLAN
ASK-2 SCALE N/A

2,922 SQ.FT. OF DWELLING AREA DIVIDED BY 7,941 SQ.FT. OF LOT AREA = 36.8 %
 LOT COVERAGE IS GREATER THAN AND DOES NOT CONFORM WITH THE R4
 DESIGNATION OF ZONING BY-LAW 11-72 REQUIREMENTS OF THE MAXIMUM LOT
 COVERAGE OF 33-1/3% (NOTE: PROPOSED DWELLING ALONE SEEKS 3.47% RELIEF)

106 SQ.FT. OF EXISTING REAR YARD WOOD FRAME SHED TO REMAIN ON THE SUBJECT
 PROPERTY CONTRIBUTES AN ADDITIONAL = 1.3 % LOT COVERAGE.
 TOTAL LOT COVERAGE = 38.1% IS GREATER THAN AND DOES NOT CONFORM WITH THE R4
 DESIGNATION OF ZONING BY-LAW 11-72 REQUIREMENTS OF THE MAXIMUM LOT COVERAGE
 OF 33-1/3% C.O.A. MINOR VARIANCE APPLICATION REQUIRED SEEKING RELIEF OF 4.76%
 (378 SQ.FT.) ADDITIONAL LOT COVERAGE.

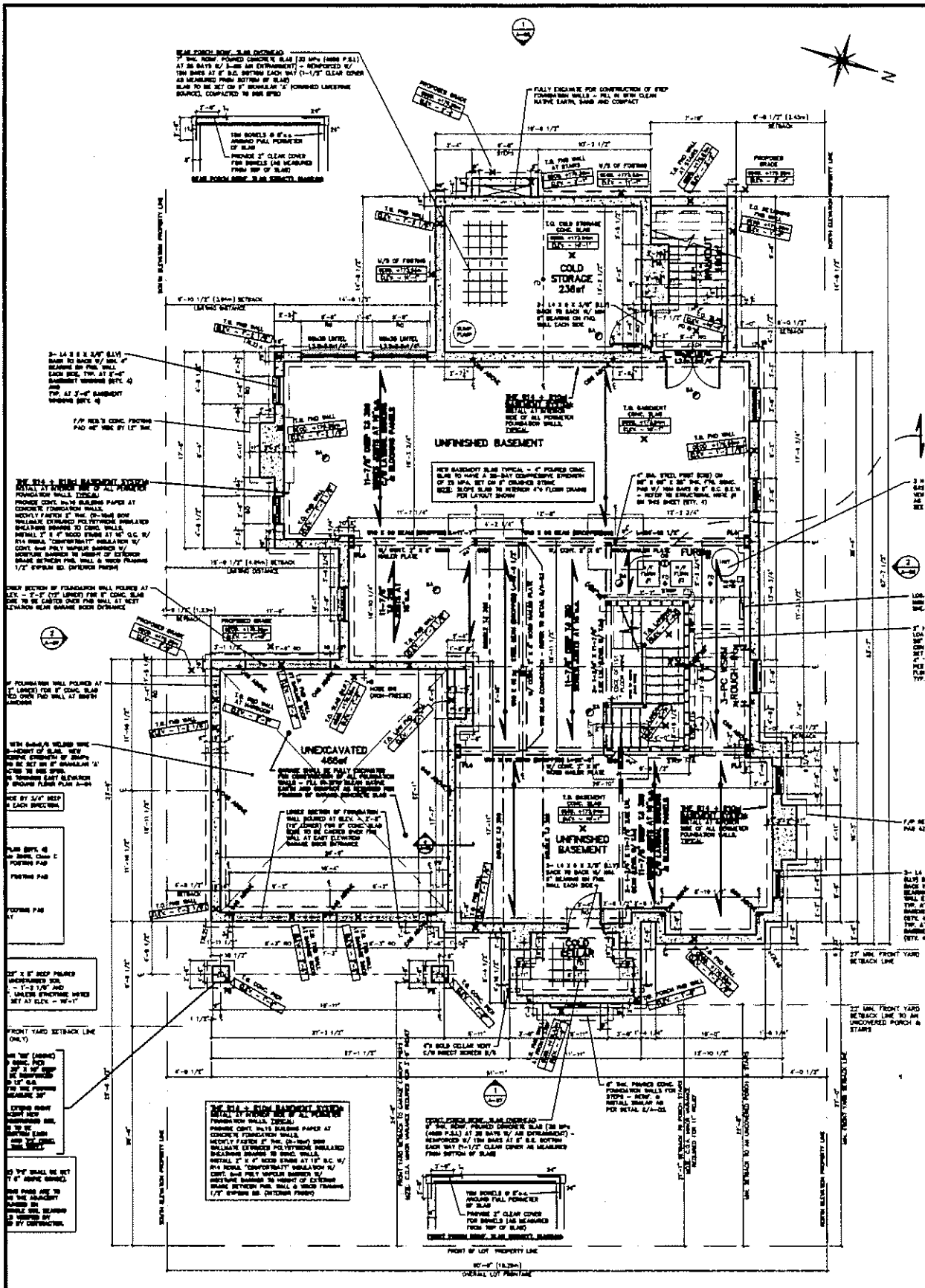
sdg design
 CUSTOM HOMES & ADDITIONS
416.909.4452
 34 ELM STREET
 MARKHAM, ONT., L3P 2V5
 CELL 416-909-4452
 FAX 905-201-2275
 sdgdesign@rogers.com

PROJECT **PROPOSED CUSTOM HOME**
 63 FONTHILL BOULEVARD, MARKHAM, ON L3R 1V5
 SUBJECT 'THE DE GREGORIO & BOICHEVSKI RESIDENCE'
 SITE DATA PER BY-LAW 11-72 ZONE REQUIREMENTS

PROJECT No. **18-010**
 REFER TO ASK-1 to ASK-11
 ISSUED FOR: C.O.A. HEARING
 DWG. No. **ASK-3**

DRAWN BY: SDG | ISSUE DATE: 28 MAR 2019 | SCALE: AS NOTED

PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE



sdg design
 CUSTOM HOMES & ADDITIONS
 416.909.4452
 34 ELM STREET
 MARKHAM, ONT. L3P 2V5
 CELL 416-909-4452
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PROJECT PROPOSED CUSTOM HOME
 63 FONTHILL BOULEVARD, MARKHAM, ON L3R 1V5

SUBJECT 'THE DE GREGORIO & BOICHEVSKI RESIDENCE'
 PROPOSED DWELLING FOUNDATION / BASEMENT PLAN

DRAWN BY: SDG **ISSUE DATE:** 28 MAR 2019 **SCALE:** 1/8" = 1'-0"

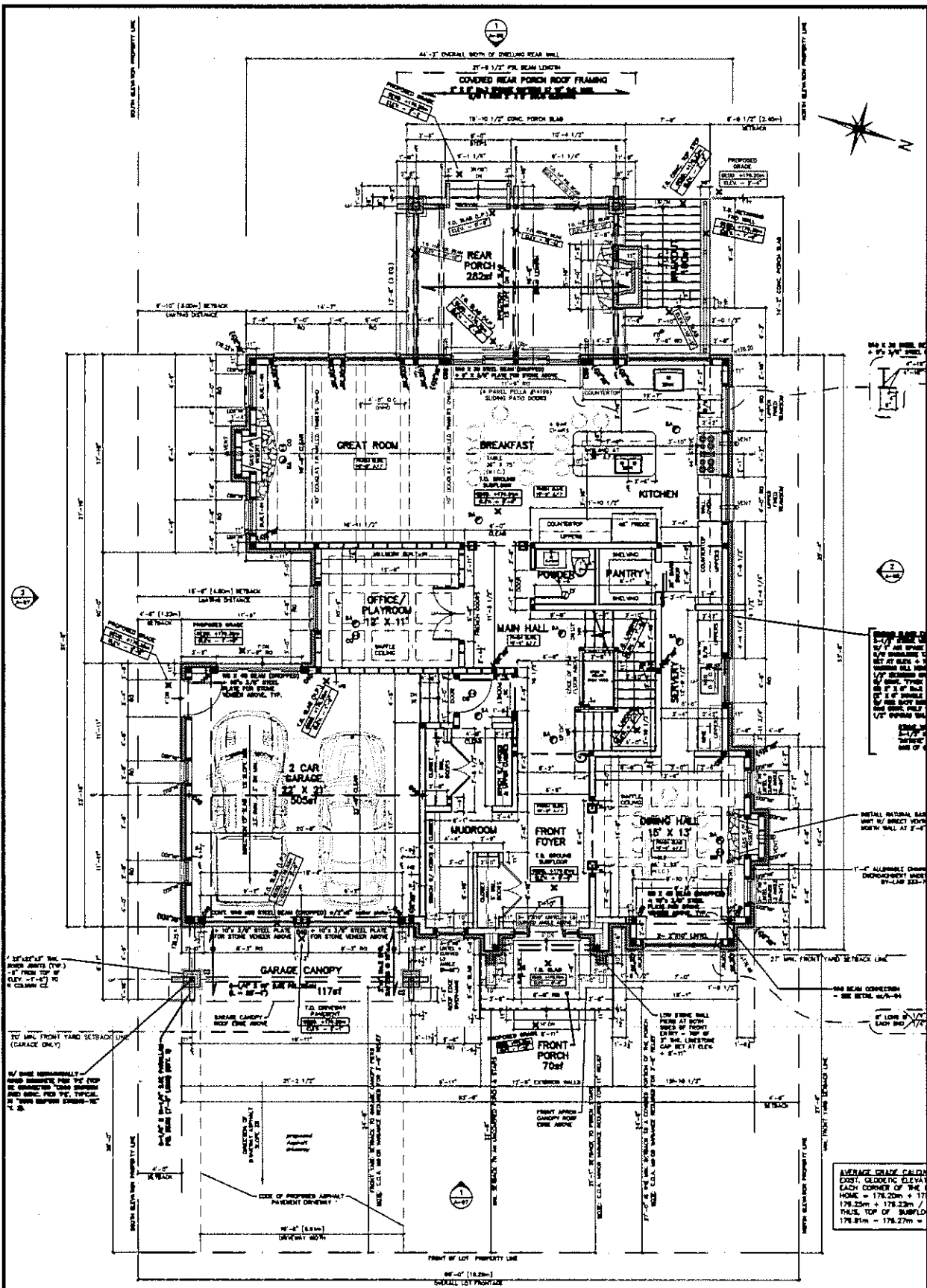
PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE

PROJECT No. 18-010

REFER TO ASK-1 to ASK-11

ISSUED FOR: C.O.A. HEARING

DWG. No. ASK-4



sdg design
 CUSTOM HOMES & ADDITIONS
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PROJECT **PROPOSED CUSTOM HOME**
 63 FONTHILL BOULEVARD, MARKHAM, ON L3R 1V5

SUBJECT **'THE DE GREGORIO & BOICHEVSKI RESIDENCE'**
 PROPOSED DWELLING GROUND FLOOR PLAN

DRAWN BY: SDG | ISSUE DATE: 28 MAR 2019 | SCALE: 1/8" = 1'-0"

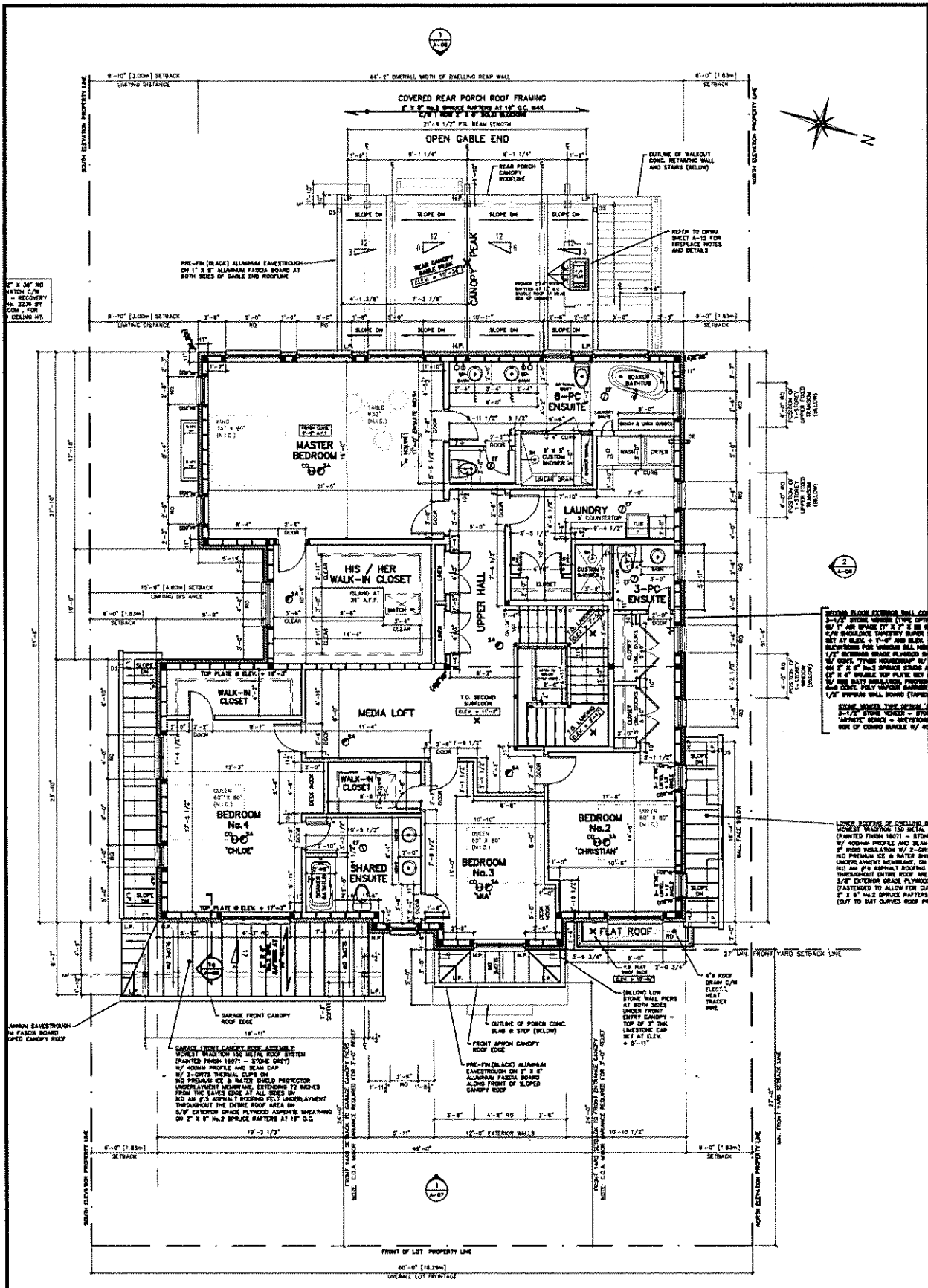
PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE

PROJECT No. **18-010**

REFER TO ASK-1 to ASK-11

ISSUED FOR: C.O.A. HEARING

DWG No. **ASK-5**



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PROJECT **PROPOSED CUSTOM HOME**
 63 FONTHILL BOULEVARD, MARKHAM, ON L3R 1V5

SUBJECT **'THE DE GREGORIO & BOICHEVSKI RESIDENCE'**
PROPOSED DWELLING SECOND FLOOR PLAN

DRAWN BY: SDG ISSUE DATE: 28 MAR 2019 SCALE: 1/8" = 1'-0"

PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE

PROJECT No. **18-010**

REFER TO ASK-1 to ASK-11

ISSUED FOR: C.O.A. HEARING

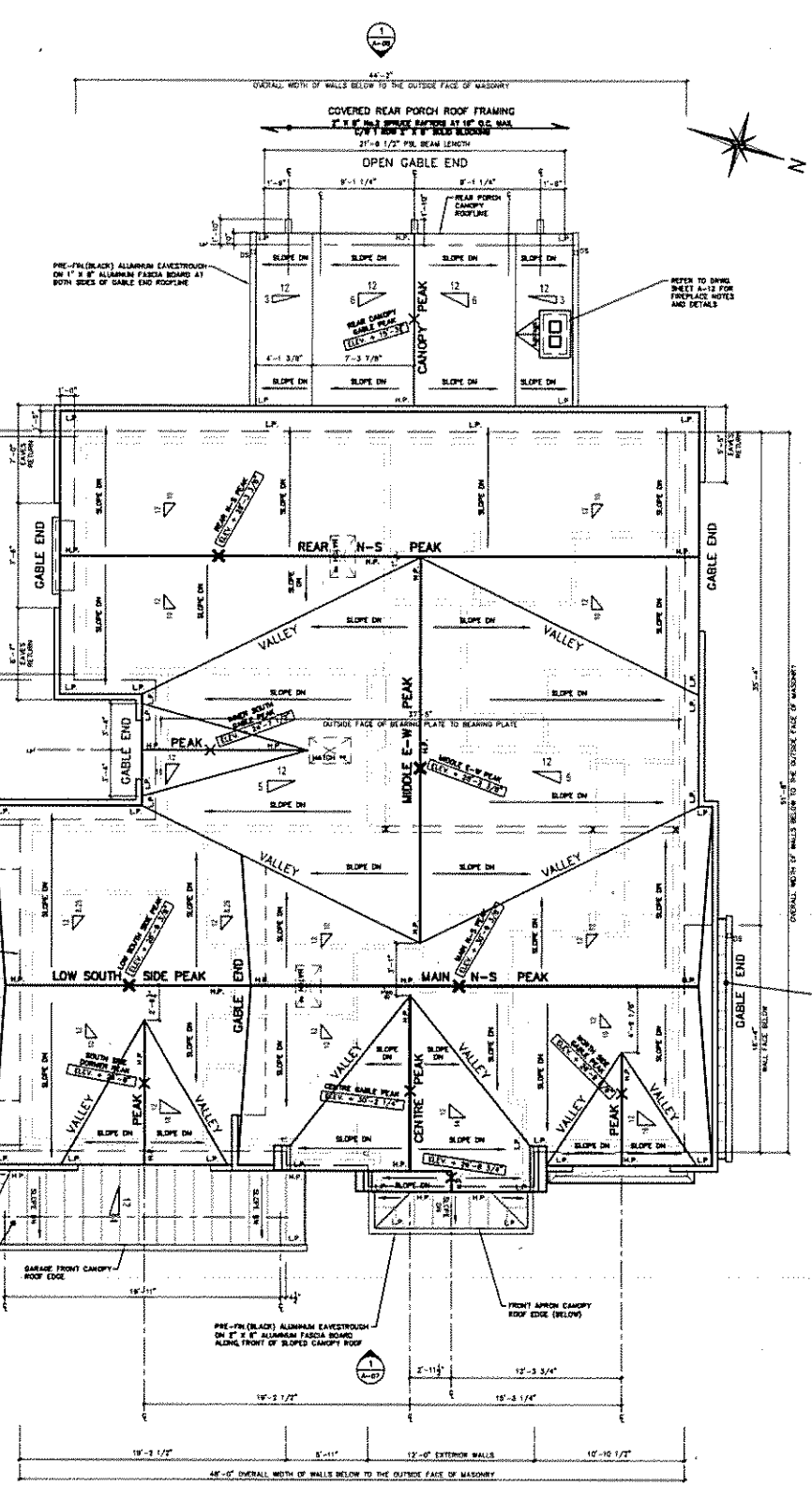
DWG. No. **ASK-6**

PROVIDE 22-1/2" x 30" x 60
ATTIC ACCESS HATCH C/W
FOLDING STAIRS - RECOVERY
SERIES MODEL NO. 2236 BY
CALVERT-HARLOW, FOR
8'-0" FLOOR TO CEILING HT.

PROVIDE "FULL GABLE" ROOF TRUSS AT END AND
ROOF EXTENSION END FRAMING (20" x 12" x 8"
H/2 SPR. RAFTER END PLATE, RAFTER TO MATCH
PROFILE OF TOP CHORD OF ROOF FRAMES AT
SOUTH END, TO ALLOW FOR SOFFIT FRAMING W/
PRE-FIN (BLACK) ALUMINUM VENTED SOFFITS
AND FASCIA BOARD CLADDING.

PRE-FIN (BLACK) ALUMINUM EAVESTROUGH
ON 1" x 2" ALUMINUM FASCIA BOARD
ALONG FRONT OF SLOPED CANOPY ROOF

GARAGE FRONT CANOPY ROOF ASSEMBLY (FIELD)
SECRET THROUGH THE METAL ROOF SYSTEM
(PAINTED FINISH 1027 - STONE GREY)
W/ 2" GUTTS (TYPICAL) CLIPS ON
80 PERMANENT ICE & WATER SHIELD PROTECTOR
UNDERLAYMENT (MINIMUM EXTENDING 12" INCHES
FROM THE EAVED EDGE AT ALL SEWS)
200 GRADE 40 ASPHALT ROOFING FELT UNDERLAYMENT
THROUGHOUT THE ENTIRE ROOF AREA ON
8" x 16" EXTERIOR GRADE PLYWOOD SUBSTRATE BEARING
ON 2" x 8" H/2 SPRUCE RAFTERS AT 16" O.C.



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PROJECT PROPOSED CUSTOM HOME
63 FONTHILL BOULEVARD, MARKHAM, ON L3R 1V5

SUBJECT 'THE DE GREGORIO & BOICHEVSKI RESIDENCE'
PROPOSED DWELLING OVERALL ROOF PLAN

DRAWN BY: SDG ISSUE DATE: 28 MAR 2019 SCALE: 1/8" = 1'-0"

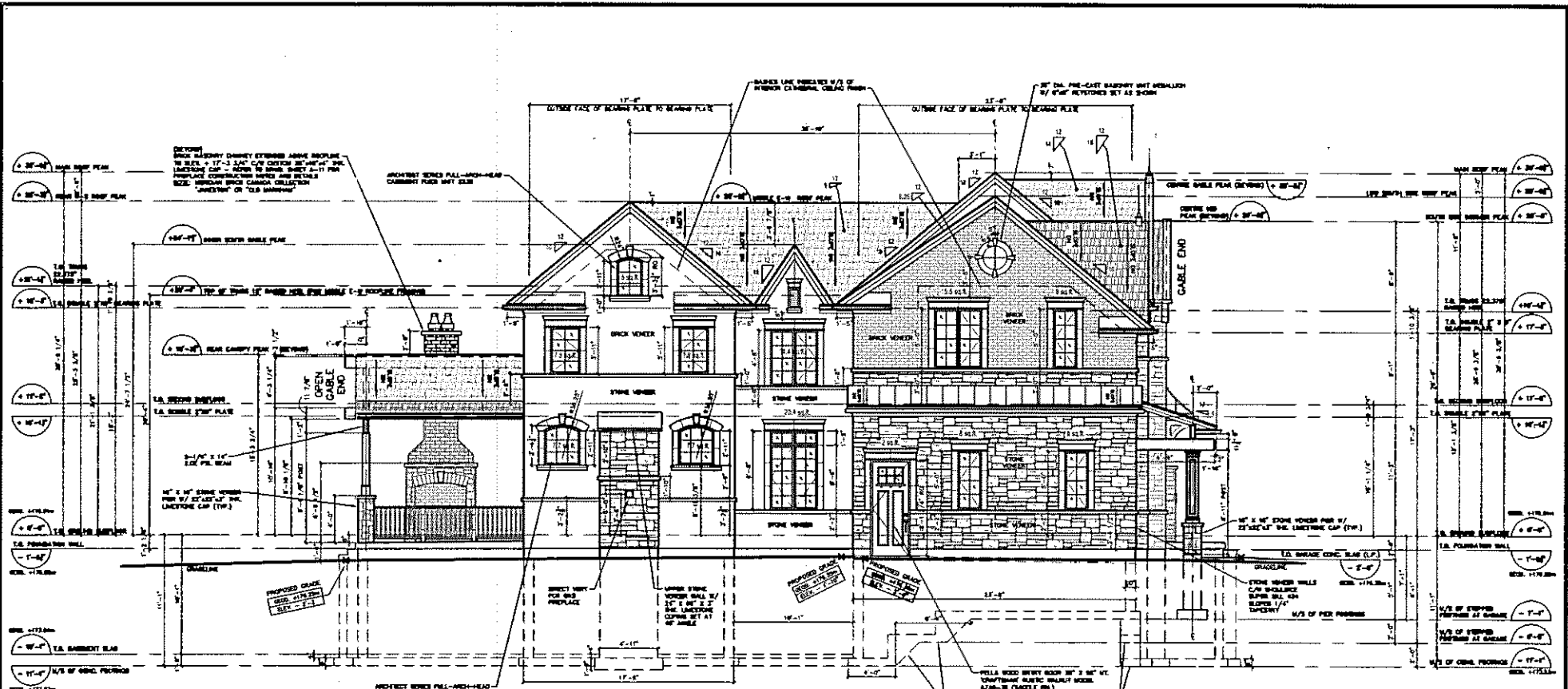
PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE

PROJECT No. 18-010


REFER TO ASK-1 to ASK-11

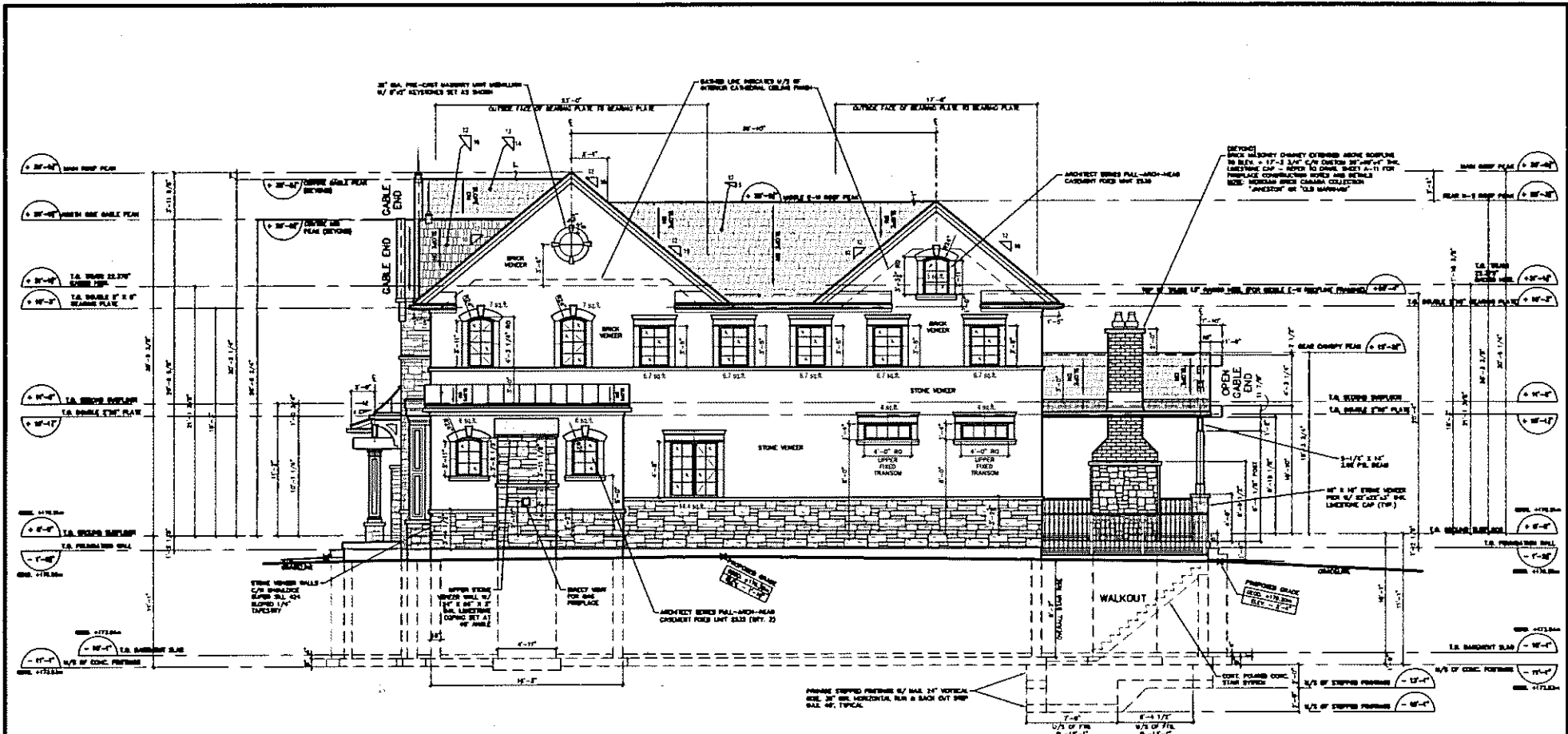
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DWG No. ASK-7



2 PROPOSED SOUTH (SIDE) ELEVATION
 A-07 SCALE 1/4" = 1'-0"

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	SUBJECT 'THE DE GREGORIO & BOICHEVSKI RESIDENCE' PROPOSED DWELLING SOUTH (SIDE) ELEVATION	REFER TO ASK-1 to ASK-11 ISSUED FOR : C.O.A. HEARING
	DRAWN BY: SDG ISSUE DATE: 28 MAR 2019 SCALE: 1/8"=1'-0"	DWG. No. ASK-9
	PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE	



2 PROPOSED NORTH (SIDE) ELEVATION
 A-08 SCALE 1/4" = 1'-0"

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PROJECT	PROPOSED CUSTOM HOME 63 FONTHILL BOULEVARD, MARKHAM, ON L3R 1V5		PROJECT No.	18-010	
SUBJECT	'THE DE GREGORIO & BOICHEVSKI RESIDENCE' PROPOSED DWELLING NORTH (SIDE) ELEVATION		REFER TO	ASK-1 to ASK-11	
DRAWN BY:	SDG	ISSUE DATE:	28 MAR 2019	SCALE:	1/8"=1'-0"
PREPARED FOR:			COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE		