

# Memorandum to the City of Markham Committee of Adjustment

May 2, 2018

**File:** A/36/18  
**Address:** 2915 Bur Oak Ave, Markham  
**Applicant:** Annie Ai-Ling Cheng  
**Agent:** Gladki Planning Associates Inc. (John Gladki)  
**Hearing Date:** Wednesday May 09, 2018

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the following requirements of By-law CA2\*5\*142, as amended to permit:

- a) **Table A2:**  
a fourplex dwelling, whereas the By-law does not permit a fourplex dwelling;
- b) **Parking By-Law 28-97, Table A:**  
1 parking space per dwelling unit, whereas the By-law requires 1.5 parking spaces per dwelling unit;

as they relate to an existing live/work townhouse that is proposed to be converted into a fourplex dwelling.

## BACKGROUND

### Property Description

The 286 m<sup>2</sup> (3085 ft<sup>2</sup>) subject property is one unit within a block of units located on the west side of Bur Oak Avenue in Cornell, South of 16<sup>th</sup> Avenue and east of 9<sup>th</sup> Line. The property is located within an established mixed use residential neighbourhood comprised of a combination of townhomes, two-storey detached dwellings and commercial / mixed use properties. The three-storey block in which the subject property is located contains townhouse units with professional offices and home occupation uses on the main floor and basements. The block was constructed in 2006.

### Proposal

The applicant proposes a fourplex (4 separate dwelling units) within the existing three storey townhouse unit (including the basement), whereas the by-law permits a maximum of one townhouse dwelling unit and one accessory dwelling unit. According to Zoning By-Law 177-96 this is defined as a multiple dwelling unit as it is a dwelling unit in a building containing three or more dwelling units.

The applicant proposes separate dwelling units in the basement and on the first, second and third floors. The basement space would function as a studio apartment, the main floor would be renovated to provide a one bedroom unit, and the second floor would be renovated into a one bedroom unit and the third floor as a two bedroom unit. This would bring the total number of individual dwelling units to four, two more units than the by-law permits.

### Official Plan and Zoning

2014 Official Plan (partially approved on Nov 24/17, and further updated on April 9/18)

The 2014 Official Plan designates the subject property as "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings, semi-detached dwellings, townhouses excluding back to back townhouses and small multiplex buildings containing 3 to 6 units, all with direct frontage onto a public street. However, until such time as an updated

secondary plan is approved for the Cornell community the policies of the Official Plan (1987), as amended and the Cornell Secondary Plan remain in force.

Cornell Secondary Plan (OPA 168) 2008.

The property is designated "Urban Residential" in the 1987 Official Plan. The Cornell Secondary Plan designates the subject property "Community Amenity Area – Bur Oak Corridor", which is a Commercial Designation that provides for residential, commercial and institutional development in single and mixed-use buildings. The intent of this designation is to provide a mixed "main street" focus for residential neighbourhoods.

Zoning By-Law 177-96

The subject property is zoned Community Amenity 2 with exceptions (CA\*2\*5\*142) under By-law 177-96 as amended, which permits townhouse dwellings, accessory dwelling units and home occupation uses on up to 100% of the first storey. As the subject property does not have a detached private garage, exception 5 is not applicable. Exception 142 relates to the ground floor commercial uses noted above and includes site specific zone standards. The proposed development does not comply with the by-law with respect to and the number of individual dwelling units permitted in the subject townhouse units.

Parking By-Law 28-97

The Parking By-Law requires 1.25 parking spaces per dwelling plus 0.25 parking spaces per dwelling unit for visitors. The proposal will facilitate the need for 6 parking spaces however, only 4 are being provided. The proposed development does not comply with the by-law with respect to the number of parking spaces.

**Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, *"The addition of two units will not result in any changes to the exterior of the property. The building is configured to accommodate two additional units without any impact on the neighbourhood. The approval of this application will add needed rental affordable housing in this part of Markham without changing the character of the neighbourhood"*.

**Zoning Preliminary Review (ZPR) Undertaken**

The applicant has completed a Zoning Preliminary Review (ZPR) to confirm the variances required for the proposed development. Upon completion of the Zoning Preliminary Review the applicant was advised that the proposal was for a multiple dwelling unit.

It is still the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variances in the application contains errors, or if the need for additional variances are identified during the Building Permit review process, further variance application(s) may be required to address the outstanding matters and there will be a delay in application processing.

**COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

### Proposal to provide four dwelling units

The applicant is proposing to convert the townhouse unit into a four unit townhouse dwelling, which will provide a separate dwelling unit on each level, including the basement, first floor, second floor and third floor whereas the purpose and intent of the current zoning is to permit one principal dwelling, an accessory dwelling and up to 100% of the ground floor to be used as separate commercial space or home occupation. This will result in a total of four dwelling units and no commercial floor space.

The applicant submits that the internal configuration will be inconspicuous from the street. Staff concurs with this view because each unit already has a separate entrance. However, staff note that the additional / separate dwelling unit in the basement will need to adhere to Ontario Building Code requirements which may require external changes to be made to the property.

The 1987 Official Plan supports a range of housing adequate and appropriate to the existing and anticipated housing needs of Markham. The 2014 Official Plan strengthens this goal by promoting diversification of Markham's housing stock, including housing forms, sizes and increased opportunities for affordable housing choices to address the changing composition of households over time; encouraging the development of a full range of unit types and unit sizes. However, as it relates specifically to the 'Community Amenity Area – Bur Oak Corridor', the in-force secondary plan acknowledges that buildings shall be primarily residential in use, but that where buildings adjoin Bur Oak Avenue, the ground floor shall be designed to accommodate secondary retail, personal service and office uses.

Planning staff is of the opinion that converting each level of the subject property into a separate independent dwelling unit negates the ability to accommodate retail, personal service and offices uses on the ground floor in a manner that is compatible with the primary residential uses. Such a proposal should not be considered in isolation, as there may be City-wide implications resulting in the loss of potential ground floor commercial uses overtime.

Staff have discussed with the applicant how three dwelling units may be supportable given that the ground floor and basement would remain as one unit, protecting opportunities for conversion to commercial in future and thereby maintaining the intent of the Official Plan and Zoning by-law. However, the applicant prefers to maintain the proposal of a four unit townhouse dwelling.

### Parking Reduction

The parking requirement for the subject property, as a four unit townhouse dwelling, is 1.25 parking spaces per dwelling plus 0.25 parking spaces per dwelling unit for visitors, for a total of 6 spaces. The applicant is proposing 1 parking space per unit for a total of 4 parking spaces resulting in a deficiency of 2 parking spaces. Transportation Engineering staff are of the opinion that the proposed parking configuration on the existing driveway at the rear of the subject property, which provides for tandem parking, will not allow cars to move freely in and out of spaces. The parking issue may be considered "self-regulating", as some of the units may only be of interest to a tenant that does not require a parking space; however, staff is of the opinion that the parking shortfall, as well as the configuration does not present a viable parking solution for a four unit townhouse dwelling building type.

### **PUBLIC INPUT SUMMARY**

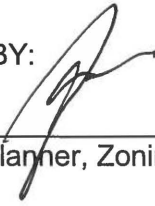
No written submissions were received as of May 2<sup>nd</sup> 2018. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request for a four unit townhouse dwelling does not meet the four tests of the Planning Act with respect to maintaining the intent and purpose of the in-force Official Plan and Zoning by-law; and that the request for a parking reduction is not desirable or appropriate for the development proposed. Further, Staff consider the proposal may have City-wide implications and may be more appropriately considered by Council through a Zoning By-law Amendment Application.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

PREPARED BY:



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Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



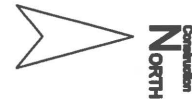
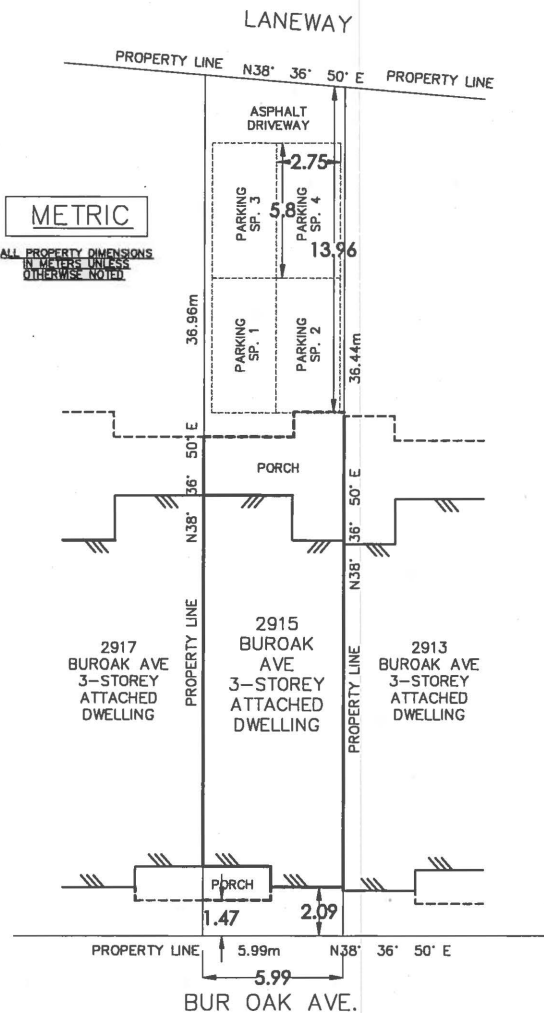
\_\_\_\_\_  
Sally Campbell, Development Manager, East District

File Path: Amanda\File\ 18 228000 \Documents\District Team Comments Memo





KEYPLAN



**SCOPE OF WORK:**

ALTERATIONS TO EXISTING ATTACHED THREE STOREY RESIDENTIAL DWELLING.

INCLUDING MODIFICATIONS TO BUILDING FOR FOUR (4) SEPARATE RESIDENTIAL DWELLING UNITS.

ALL CONSTRUCTION TO ADHERE TO RELEVANT CODES AND AS INDICATED IN THIS DRAWING SET.

**INFORMATION TAKEN FROM SURVEY:**

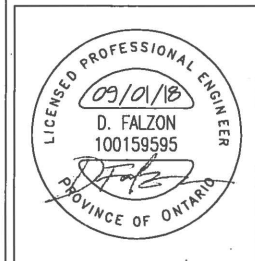
SURVEYOR'S REAL PROPERTY REPORT PART 1

PLAN OF SURVEY OF BLOCKS 3 AND 4 REGISTERED PLAN 65M-3637 TOWN OF MARKHAM REGIONAL MUNICIPALITY OF YORK

BY J.D. BARNES LTD. DATED 21 MARCH 2006.

INFORMATION SCHEDULE: MEANS OF EGRESS			
NO.	LOCATION	TYPE	DETAILS
1.	UNIT 0 (BSMNT)	DOOR	EXISTING EAST AND WEST
2.	UNIT 1 (1ST FLR)	DOOR	EXISTING EAST AND WEST
3.	UNIT 2 (2ND FLR)	DOOR	32" WIDE TO STAIRWELL
4.	UNIT 3 (3RD FLR)	DOOR	32" WIDE TO STAIRWELL

INFORMATION SCHEDULE: FIRE PROTECTION RATING			
NO.	LOCATION	FPR	DETAILS
1.	FURNACE RM (BSMNT)	1HR.	CEIL - DWG S6 DETAIL E
			WALLS - DWG S6 - SEC AA, BB
			CEIL - DWG S6 DETAIL E
FURNACE RM (3RD FL)	1HR.	CEIL - DWG S6 DETAIL E	
		WALLS - DWG S6 - SEC CC	
		CEIL - EXISTING	
2.	UNIT SEP. (FLR. 1/2)	1HR.	CEIL - EXISTING
	UNIT SEP. (FLR. 2/3)	1HR.	CEIL - DWG S6 DETAIL E
3.	EAST STAIRWELL	1HR.	CEIL - EXISTING
			WALLS - DWG S6 - SEC CC



No.	Revision/Issue	Date
2		
1		

**LASONNE**

2915 BUR OAK AVENUE  
ALTERATIONS  
Markham, Ontario

TITLE:

**SITE PLAN**

Drawing No.	S1
Project No.	1780
Date	NOV '17
Scale	1:150
Drawn by:	DF
Checked by:	DF

#### HANDRAILS AND GUARDS

1. A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS.
2. GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600MM ABOVE THE ADJACENT LEVEL AND WHERE THE ADJACENT SURFACE HAS A SLOPE OF MORE THAN 1:2.
3. INTERIOR AND EXTERIOR GUARDS MIN. 900MM HIGH.
4. EXTERIOR GUARDS SHALL BE 1070MM HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800MM.
5. GUARDS SHALL HAVE OPENINGS SMALLER THAN 100MM AND NO MEMBER BETWEEN 140MM AND 900MM THAT WILL FACILITATE CLIMBING.

#### PLUMBING

1. EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATHTUB OR SHOWER STALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES.

2. A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A SEWAGE EJECTION PUMP.

#### ELECTRICAL

1. AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE.
2. A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
3. STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD OF THE STAIRS.
4. BASEMENTS REQUIRE A LIGHT FOR EACH 30M CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.

#### MECHANICAL VENTILATION

1. A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:  
10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM  
5.0 L/S FOR EACH OTHER ROOM
2. A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
3. SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
4. A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
5. SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

#### DOORS AND WINDOWS

1. EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M<sup>2</sup> AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAXIMUM SILL HEIGHT 1000MM FOR FIN. FLOORS ABOVE GRADE.
2. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK
3. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT
4. MAXIMUM U-VALUE 1.8 FOR WINDOWS & SLIDING GLASS DOORS

#### EXTERIOR WALLS

1. NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 1200MM FROM PROPERTY LINES
2. 15.9MM TYPE 'X' FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN
3. 1200MM AND NOT LESS THAN 600MM FROM PROPERTY LINES
4. NON COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 600MM FROM PROPERTY LINES

#### CERAMIC TILE

1. WHEN CERAMIC TILE IS APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 12.5MM THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING AN JOISTS AT NO MORE THAN 400MM O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING

#### ACCESS TO ATTICS AND CRAWL SPACES

1. ACCESS HATCH MINIMUM 545MM X 588MM TO BE PROVIDED TO EVERY ROOF SPACE WHICH IS 10M OR MORE IN AREA AND MORE THAN 600MM IN HEIGHT. ACCESS HATCH MINIMUM 500MM X 700MM TO BE PROVIDED TO EVERY CRAWL SPACE.

#### GARAGE GAS-PROOFING

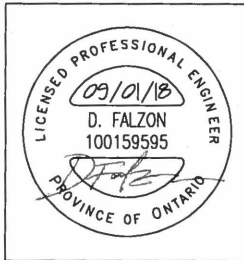
1. THE WALLS AND CEILING OF AN ATTACHED GARAGE SHALL BE CONSTRUCTED AND SEALED SO AS TO PROVIDE AN EFFECTIVE BARRIER TO EXHAUST FUMES.
2. ALL PLUMBING AND OTHER PENETRATIONS THROUGH THE WALLS AND CEILING SHALL BE CAULKED.
3. DOORS BETWEEN THE DWELLING AND ATTACHED GARAGE MAY NOT OPEN INTO A BEDROOM AND SHALL BE WEATHER-STRIPPED AND HAVE A SELF-CLOSER.

#### ALARMS AND DETECTORS

1. AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 900MM OR MORE ABOVE AN ADJACENT LEVEL
2. SMOKE ALARMS SHALL BE INTERCONNECTED AND LOCATED SUCH THAT ONE IS WITHIN 5M OF EVERY BEDROOM DOOR AND NO MORE THAN 15M TRAVEL DISTANCE FROM ANY POINT ON A FLOOR.
3. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS WITH FUEL BURNING PREPACE OR STOVE, OR AN ATTACHED GARAGE.

#### STAIRS

1. MAXIMUM RISE : 200MM  
MINIMUM RUN: 210MM  
MINIMUM TREAD: 235MM  
MINIMUM HEAD ROOM: 1950MM  
MINIMUM WIDTH: 860MM
2. CURVED STAIRS SHALL HAVE A MIN. RUN OF 150MM AT ANY POINT AND A MINIMUM AVERAGE RUN OF 200MM
3. WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90° WITH NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 1200MM ALONG THE RUN OF THE STAIR.
4. A LANDING IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING AND OTHER EXTERIOR ENTRANCES WITH MORE THAN 3 RISERS.
5. EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS.



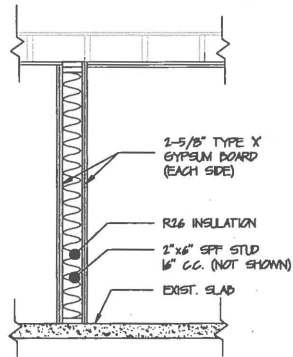
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No.	Revision/Issue	Date

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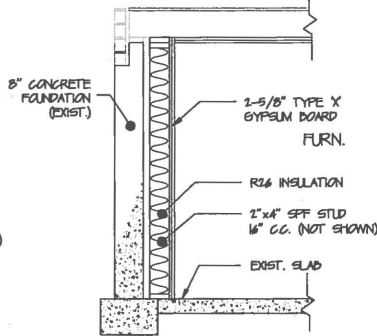
2816 BUR OAK AVENUE  
ALTERATIONS  
Markham, Ontario

TITLE:  
**GENERAL NOTES II**

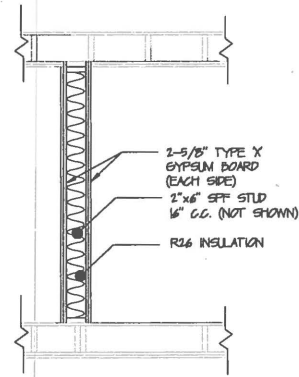
Drawing No.	S8
Project No.	1780
Date	NOV '17
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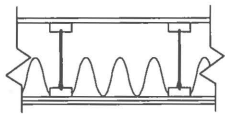
SECTION A-A: WALL  
FIRE-PROOFING DETAILS



SECTION B-B: WALL  
FIRE-PROOFING DETAILS

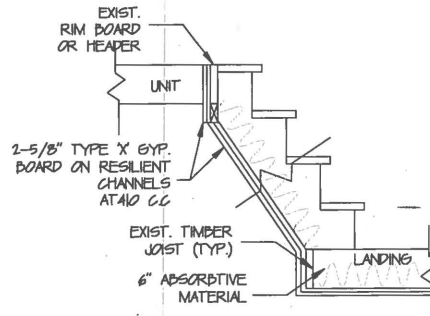


SECTION C-C: WALL  
FIRE-PROOFING DETAILS



DETAIL E: CEILING  
DETAILS

15.9mm OSB SUBFLOOR;  
WOOD JOISTS AT 40mm OC. ;  
RESILIENT CHANNELS AT 40mm OC. ;  
2 LAYERS 12.7mm TYPE X DRYWALL ;  
6" ABSORBITIVE MATERIAL IN CAVITIES ;  
SBS ASMBLY: F9g FFR: 1H STC: 51



DETAIL D: STAIRS  
FIRE-PROOFING DETAILS

1:40

**GENERAL NOTES:**

**2.1 LUMBER:**

1. ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER UNLESS NOTED OTHERWISE.

2. STUDS SHALL BE STUD GRADE SPRUCE, UNLESS OTHERWISE NOTED.

3. JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.

4. WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE IN CONTACT WITH CONCRETE SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2mm POLYURETHANE FILM, No. 50 (45lbs) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL.

**2.2 STEEL:**

1. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-C40-21 GRADE 300W. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 'H'.

2. REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400W.

**2.3 CONCRETE:**

1. THE MINIMUM COMPRESSIVE STRENGTH F'c OF ALL CONCRETE SHALL BE 30MPa.

2. CLEAR COVER TO REINFORCING STEEL SHALL BE AS FOLLOWS:

100mm +/- 20mm FOOTINGS CAST AGAINST EARTH  
70mm +/- 20mm REMAINDER UNLESS NOTED

**2.3 MECHANICAL:**

1. MECHANICAL VENTILATION SHALL PROVIDE 1 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 0.5 PER HOUR IF AIR CONDITIONED AVERAGED OVER 25 HOURS.

2. HOT WATER TANK MANUFACTURER SPECS SHALL CONFORM TO OBC 9.31.6.

**2.4 FLASHINGS:**

1. FLASHING MATERIALS AND DISTALLATION SHALL CONFORM TO O.B.C SECTIONS 9.20.13, 9.26.4 & 9.27.3

**2.5 ELECTRICAL FACILITIES:**

1. ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34

**2.6 GRADING:**

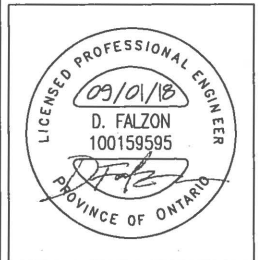
1. THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. GRADING SHALL CONFORM TO 9.14.6.

ALL FRAMING TO BE COMPLETED IN ACCORDANCE TO OBC SECTION 9.23

ALL INTERIOR PARTION WALLS TO BE FRAMED WITH 2"x4" OR 2"x6" SPF NO.1/2 AT 16" C.C.

ALL FRAMING MEMBERS SHOWN TO BE SPF NO.1/2 UNLESS OTHERWISE NOTED.

ALL TIMBER MEMBERS SPECIFIED 'LVL' TO BE TRUSJOIST MANUFACTURED BY WAYERHAUSER OR APPROVED EQUIVALENT.



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No.	Revision/Issue	Date

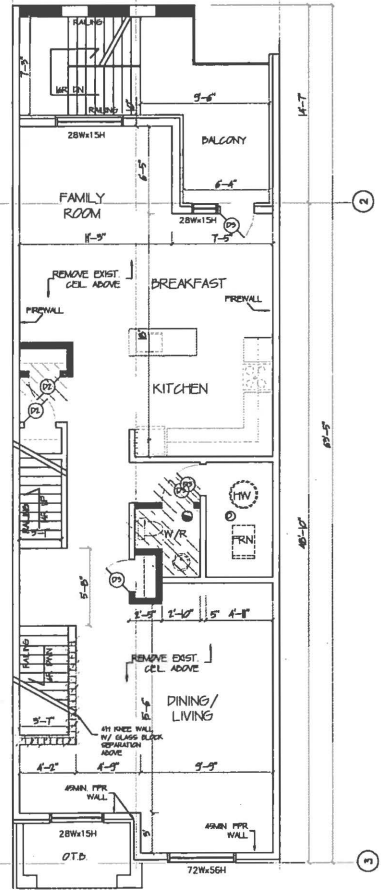
**LASONNE**

2915 BUR OAK AVENUE  
ALTERATIONS  
Markham, Ontario

TITLE:  
**FIREPROOFING  
DETAILS**

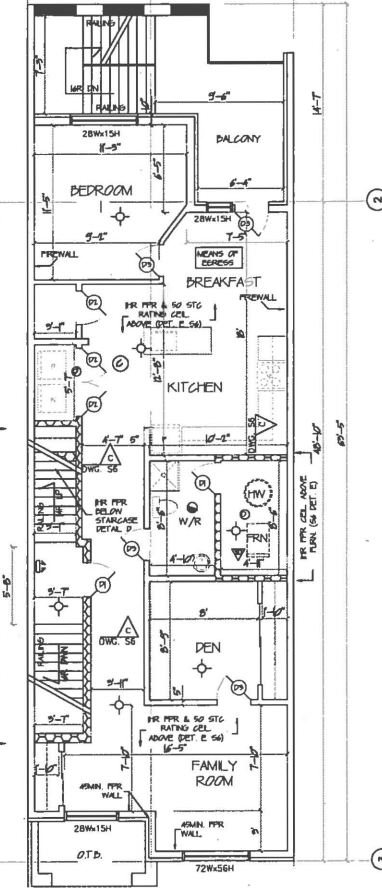
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C B A



PLAN - SECOND FLOOR  
EXISTING

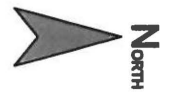
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PLAN - SECOND FLOOR  
(UNIT 2) - RENOVATED

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	32" W X 6'8" w/ SELF LATCHING DEVICE	1HR
D2	28" W X 6'8" - WOOD	N/A
D3	30" W X 6'8" - WOOD	N/A
D4	32" W X 6'8" - WOOD	N/A



LEGEND

- REMOVALS
- FIRE RATED WALL, SEE CONSTRUCTION DETAILS
- REMOVALS (APPURTENANCES)
- EXHAUST FAN - 50CFM MIN VENTED TO OUTSIDE
- CARBON MONOXIDE DETECTOR
- CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
- HVAC DIFFUSER - R DENOTES RETURN
- HYDRAULIC SPRINKLER HEAD
- INTERNAL FRN DUCT SMOKE DETECTOR
- 1HR BATTERY POWERED EMERG. LIGHT

PRIOR TO REMOVING ANY LOAD BEARING MEMBERS, CONTRACTOR MUST ENSURE THAT JOISTS ARE ADEQUATELY SUPPORTED.



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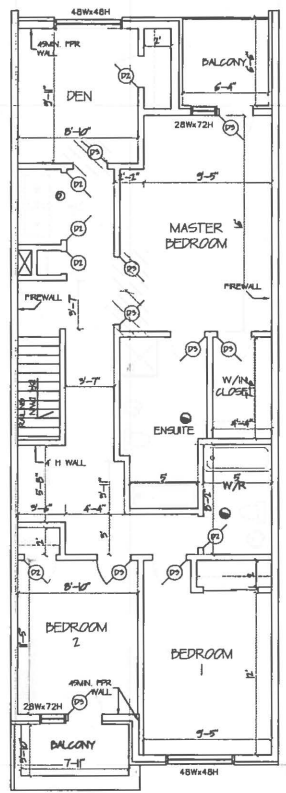
**LASONNE**

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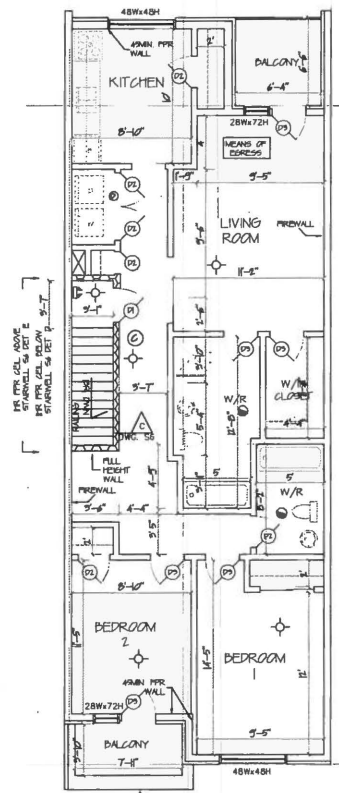
TITLE:  
**PLAN  
SECOND FLOOR**

Drawing No.	S4
Project No.	1700
Date	NOV '17
Scale	1:100
Drawn by:	DF
Checked by:	DF

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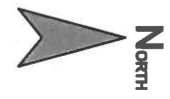
PLAN - THIRD FLOOR  
EXISTING



PLAN - THIRD FLOOR  
(UNIT 3) - RENOVATED

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	32" W X 6'8" W / SELF LATCHING DEVICE	THR
D2	28" W X 6'8" - WOOD	N/A
D3	30" W X 6'8" - WOOD	N/A
D4	32" W X 6'8" - WOOD	N/A



LEGEND

- REMOVALS
- FIRE RATED WALL, SEE CONSTRUCTION DETAILS
- REMOVALS (APPURTENANCES)
- EXHAUST FAN - 50CFM MIN VENTED TO OUTSIDE
- CARBON MONOXIDE DETECTOR
- CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
- HVAC DIFFUSER - R DENOTES RETURN
- HYDRAULIC SPRINKLER HEAD
- INTERNAL FRN DUCT SMOKE DETECTOR
- 1HR BATTERY POWERED EMERG. LIGHT

PRIOR TO REMOVING ANY LOAD BEARING MEMBERS, CONTRACTOR MUST ENSURE THAT JOISTS ARE ADEQUATELY SUPPORTED.



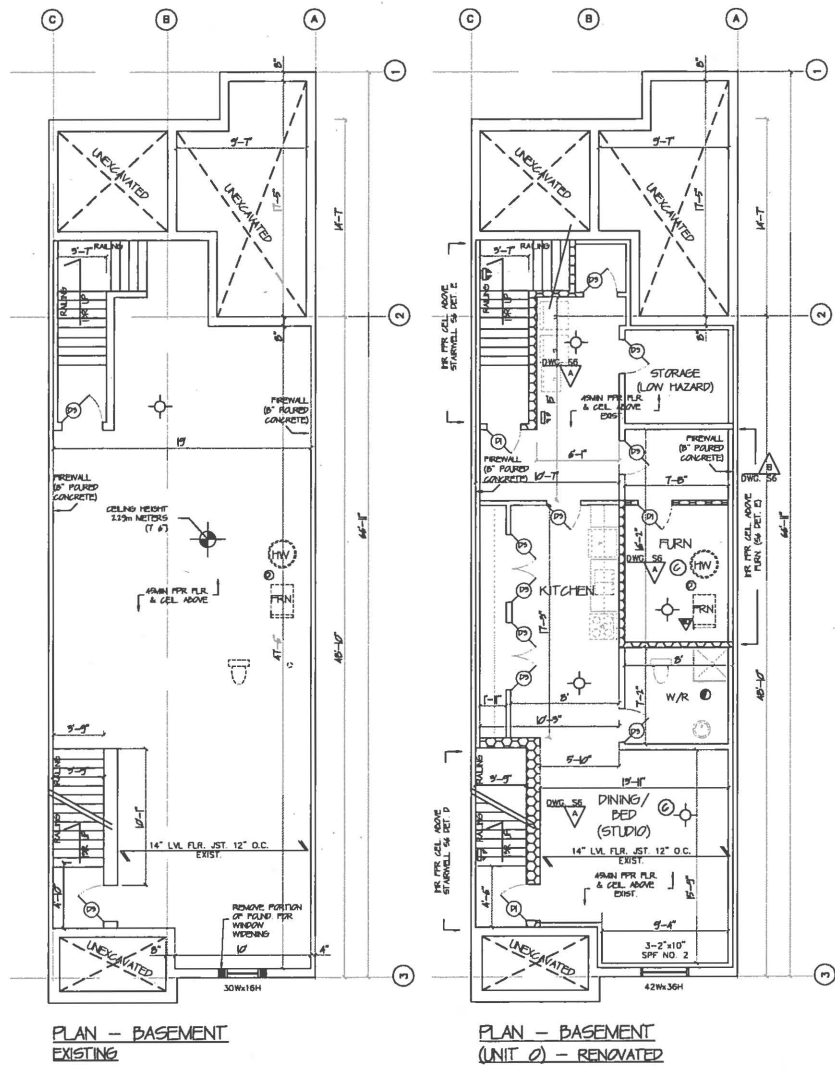
No.	Revision/Issue	Date
2		
1		

**LASONNE**

2915 BUR OAK AVENUE  
ALTERATIONS  
Markham, Ontario

TITLE  
**PLAN  
THIRD FLOOR**

Drawing No.	S5
Project No.	1780
Date	NOV '17
Scale	1:90
Drawn by:	DF
Checked by:	DF



ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	32"W X 6"B w/ SELF LATCHING DEVICE	1HR
D2	28"W X 6"B - WOOD	N/A
D3	30"W X 6"B - WOOD	N/A
D4	32"W X 6"B - WOOD	N/A



LEGEND

- REMOVALS
- FIRE RATED WALL, SEE CONSTRUCTION DETAILS
- REMOVALS (APPURTENANCES)
- EXHAUST FAN - 50CFM MIN VENTED TO OUTSIDE
- CARBON MONOXIDE DETECTOR
- CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
- HVAC DIFFUSER - R DENOTES RETURN
- HYDRAULIC SPRINKLER HEAD
- INTERNAL FRN DUCT SMOKE DETECTOR
- 1HR BATTERY POWERED EMERG. LIGHT

PRIOR TO REMOVING ANY LOAD BEARING MEMBERS, CONTRACTOR MUST ENSURE THAT JOISTS ARE ADEQUATELY SUPPORTED.



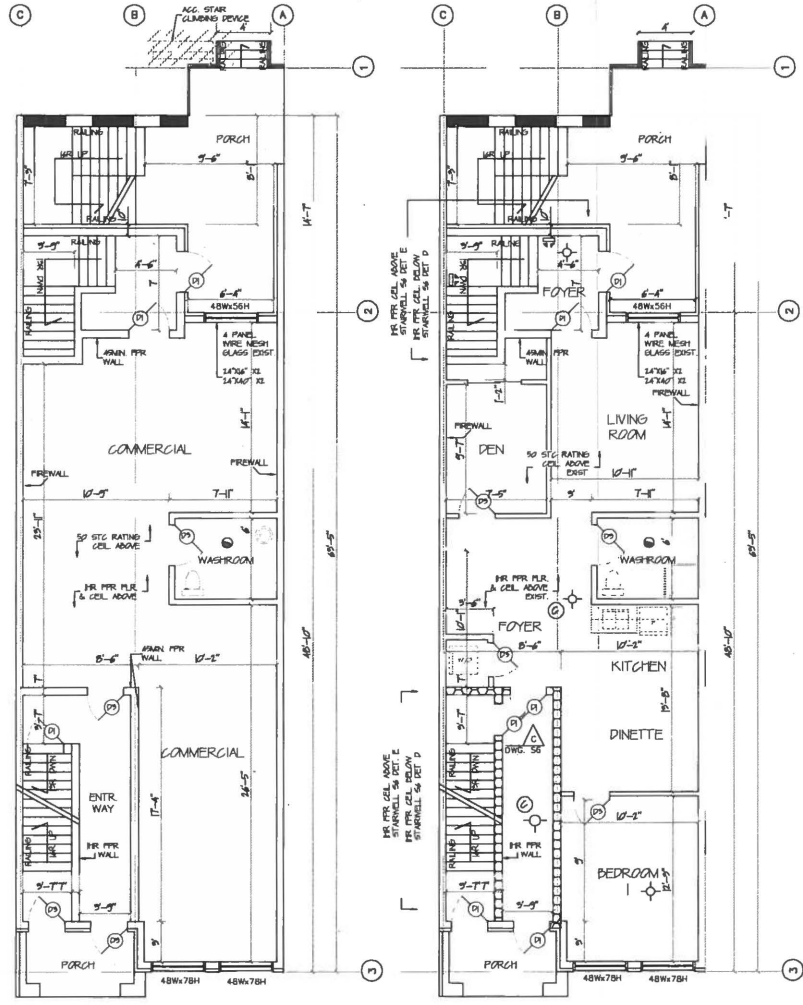
2		
1		
No.	Revision/Issue	Date

**LASONNE**

2915 BUR OAK AVENUE  
ALTERATIONS  
Markham, Ontario

TITLE:  
**PLAN  
BASEMENT  
EXISTING**

Drawing No.	S2
Project No.	1760
Date	NOV '17
Scale	1:90
Drawn by:	DF
Checked by:	DF

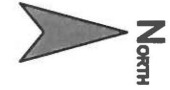


PLAN - FIRST FLOOR  
EXISTING

PLAN - FIRST FLOOR  
(UNIT 1) - RENOVATED

ALL MATERIAL FINISHES TO BE DETERMINED BY HOME OWNER DURING CONSTRUCTION

DOOR SCHEDULE		
MK	SIZE	FPR
D1	32" W X 6'8" w/ SELF LATCHING DEVICE	1HR
D2	28" W X 6'8" - WOOD	N/A
D3	30" W X 6'8" - WOOD	N/A
D4	32" W X 6'8" - WOOD	N/A



LEGEND

- REMOVALS
- FIRE RATED WALL, SEE CONSTRUCTION DETAILS
- REMOVALS (APPURTENANCES)
- EXHAUST FAN - 50CFM MIN VENTED TO OUTSIDE
- CARBON MONOXIDE DETECTOR
- CEILING MOUNTED SMOKE ALARM (INTER-CONNECTED)
- HVAC DIFFUSER - R DENOTES RETURN
- HYDRAULIC SPRINKLER HEAD
- INTERNAL FRN DUCT SMOKE DETECTOR
- 1HR BATTERY POWERED EMERG. LIGHT

PRIOR TO REMOVING ANY LOAD BEARING MEMBERS, CONTRACTOR MUST ENSURE THAT JOISTS ARE ADEQUATELY SUPPORTED.



No.	Revision/Issue	Date
2		
1		

**LASONNE**

2816 BUR OAK AVENUE  
ALTERATIONS  
Markham, Ontario

TITLE:  
**PLAN  
FIRST FLOOR**

Drawing No.	S3
Project No.	1780
Date	NOV '17
Scale	1:100
Drawn by:	DF
Checked by:	DF

**GENERAL NOTES:**

**EXCAVATION AND BACKFILL**

1. EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTIES AND UTILITIES.

2. THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.

3. IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 500MM IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 450MM.

4. BACKFILL WITHIN 600MM OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 250MM IN DIAMETER.

**DAMP-PROOFING AND DRAINAGE**

1. IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSED BASEMENTS AND CRAWL SPACES SHALL BE DAMP-PROOFED WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.

2. MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 6MM OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMP-PROOFING.

3. 100MM DIA. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWL SPACE FLOOR, AND SHALL BE COVERED WITH 150MM OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP.

4. WINDOW WELLS SHALL BE DRAINED TO THE FOOTING LEVEL OR TO A DITCH OR SUMP PUMP.

5. DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.

6. CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR.

7. THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

**FOOTINGS**

1. MINIMUM 30MPA POURED CONCRETE.

2. MINIMUM 1200MM BELOW FINISHED GRADE. FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 15KPA.

**FOUNDATION WALLS**

1. TO BE POURED CONCRETE, UNIT MASONRY, ICF OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS).

2. DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.

3. FOUNDATION WALL TO EXTEND MINIMUM 150MM ABOVE FINISHED GRADE.

4. A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 900MM BELOW EXTERIOR GRADE.

5. A DRAINAGE LAYER SHALL CONSIST OF: MIN. 19MM MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57 KG/M<sup>3</sup> OR MIN. 100MM OF FREE DRAINAGE GRANULAR MATERIAL OR AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE. FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.

**CONCRETE FLOOR SLABS**

1. GARAGE, CARPORT AND EXTERIOR SLABS AND EXTERIOR STEPS SHALL BE 32MPA CONCRETE WITH 5-8% AIR ENTRAINMENT.

2. BASEMENT SLAB 25MPA CONCRETE, MINIMUM 75MM THICK, PLACED ON A MINIMUM 100MM OF COARSE, CLEAN, GRANULAR MATERIAL.

3. ALL FILL OTHER THAN COARSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT

**MASONRY WALLS**

1. WHERE CONSTRUCTED OF 90MM BRICK, WALL SHALL BE BONDED WITH A HEADER COURSE EVERY 600MM O/C VERTICALLY AND HORIZONTALLY AND 900MM O/C FOR BLOCK OR TILE.

2. PROVIDE 50MM SOLID MASONRY, CONCRETE FILLED TOP COURSE OR CONTINUOUS 38X89 WOOD PLATE UNDER ALL ROOF AND FLOOR FRAMING MEMBERS.

3. PROVIDE 190MM SOLID MASONRY UNDER BEAMS AND COLUMNS.

4. MASONRY WALL TO BE TIED TO EACH TIER OF JOISTS WITH 40MM X 4.76MM CORROSION RESISTANT STEEL STRAPS, KEYS MINIMUM 100MM INTO MASONRY. WHEN JOISTS ARE PARALLEL TO WALL, TIES ARE TO EXTEND ACROSS AT LEAST 3 JOISTS @ 2000MM O.C.

5. INSIDE OF WALL TO BE PARGED AND COVERED WITH NO. 15 BREATHER-TYPE ASPHALT PAPER.

6. FOR REDUCED FOUNDATION WALLS TO ALLOW A BRICK FACING WHILE MAINTAINING LATERAL SUPPORT, THE MINIMUM 90MM BRICK TO MINIMUM 90MM BACKUP BLOCK WITH CORROSION RESISTANT TIES AT LEAST 17.8MM IN CROSS SECTIONAL AREA, SPACED 200MM VERTICALLY AND 900MM HORIZONTALLY, WITH JOINTS COMPLETELY FILLED WITH MORTAR.

7. MASONRY OVER OPENINGS SHALL BE SUPPORTED ON CORROSION RESISTANT OR PRIME PAINTED STEEL UNTELS WITH A MINIMUM OF 150MM END BEARING.

**MASONRY VENEER**

1. MINIMUM 70MM THICK IF JOINTS ARE NOT RAKED AND 10MM THICK IF JOINTS ARE RAKED.

2. MINIMUM 25MM AIR SPACE TO SHEATHING.

3. PROVIDE WEEP HOLES @ 800MM O.C. AT THE BOTTOM OF THE CAVITY AND OVER DOORS AND WINDOWS.

4. DIRECT DRAINAGE THROUGH WEEP HOLES WITH 0.5MM POLY FLASHING EXTENDING MINIMUM 150MM UP BEHIND THE SHEATHING PAPER.

5. VENEER TIES MINIMUM 0.76MM THICK X 22MM WIDE CORROSION RESISTANT STRAPS SPACED @ 500MM VERTICALLY AND 600MM HORIZONTALLY.

6. FASTEN TIES WITH CORROSION RESISTANT 3.18MM DIAMETER SCREWS OR SPIRAL NAILS WHICH PENETRATE AT LEAST 50MM INTO STUDS.

**WOOD FRAME CONSTRUCTION**

1. ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP

2. MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION.

3. WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 0.05MM POLYETHYLENE OR TYPE 'S' ROLL ROOFING.

**WALLS**

1. EXTERIOR WALLS SHALL CONSIST OF:  
 - CLADDING  
 - AIR BARRIER SYSTEM LAPPED 100MM AT JOINTS  
 - LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING  
 - 38X140 STUDS @ 400MM O.C.  
 - RSI 4.23 INSULATION

2. INTERIOR LOADBEARING WALLS SHALL CONSIST OF:  
 - 38X89 STUDS @ 400MM O.C.  
 - 38X89 BOTTOM PLATE AND DOUBLE 38X89 TOP PLATE  
 - 38X69 MID-GIRTS IF NOT SHEATHED  
 - 12.7MM GYPSUM BOARD SHEATHING

**FLOORS**

1. JOISTS TO HAVE MINIMUM 38MM OF END BEARING.

2. JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 12.7MM ANCHOR BOLTS @ 2400MM O.C.

3. HEADER JOISTS BETWEEN 1200MM AND 3200MM IN LENGTH SHALL BE SIZED BY CALCULATIONS.

4. TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800MM AND 2000MM. TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 2000MM.

5. 38X38 CROSS BRIDGING REQUIRED NOT MORE THAN 2100MM FROM EACH SUPPORT AND FROM OTHER ROWS OF BRIDGING.

6. JOISTS SHALL BE SUPPORTED ON JOIST HANGERS AT ALL FLUSH BEAMS, TRIMMERS AND HEADERS.

7. NON-LOADBEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON A BLOCKING BETWEEN JOISTS.

**ROOF & CEILINGS**

1. HIP AND VALLEY RAFTER SHALL BE 38MM DEEPER THAN COMMON RAFTERS.

2. 38X39 COLLAR TIES @ RAFTER SPACING WITH 19X41 CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 2400MM IN LENGTH.

3. NOTCHING & DRILLING TRUSSES, JOIST, RAFTERS, HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 50MM FROM EDGES.

4. NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF MEMBER WITHIN 1/4 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 THE JOIST SPAN.

5. WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NOT LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 40MM IF NON-LOAD BEARING.

6. ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

**ROOFING**

1. FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12MM INTO ROOF SHEATHING.

2. EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000MM WIDE SHINGLE (OR 611MM STAPLES).

3. EAVES PROTECTION SHALL EXTEND 900MM UP THE ROOF SLOPE FROM THE EDGE AND AT LEAST 300MM FROM THE INSIDE FACE OF THE EXTERIOR WALL AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 100MM HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR NO. 15 SATURATED FELT LAPPED AND CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED.

4. OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600MM WIDE.

5. SHEET METAL SHALL CONSIST OF NOT LESS THAN 1.73MM SHEET LEAD, 0.33MM GALVANIZED STEEL, 0.33MM COPPER, 0.35MM ZINC, OR 0.48MM ALUMINUM.

**COLUMNS, BEAMS & UNTELS**

1. STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED 350W STEEL.

2. MINIMUM 89MM END BEARING FOR WOOD AND STEEL BEAMS, WITH 190MM SOLID MASONRY BENEATH THE BEAM.

3. STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 73MM AND MINIMUM WALL THICKNESS OF 4.76MM.

4. WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 89MMX89MM; IN ALL OTHER CASES EITHER 140MMX140MM OR 184MM ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.

5. MASONRY COLUMNS SHALL BE A MINIMUM OF 290 MMX290 MM OR 240MM X 380MM.

6. PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.

**INSULATION AND WATERPROOFING**

1. SUPPLY DUCTS IN UNHEATED SPACE INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 0.15MM POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.

2. DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT.

3. CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING.

4. WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.

5. EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

**NATURAL VENTILATION**

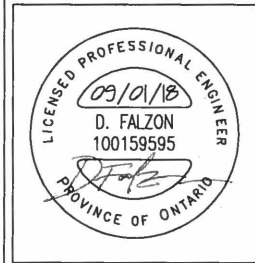
1. EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA

2. INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.

3. ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS

4. UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1M<sup>2</sup> OF VENTILATION FOR EACH 50M<sup>2</sup>

5. MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE: BATHROOMS: 0.09M<sup>2</sup> OTHER ROOMS: 0.28M<sup>2</sup> UNFINISHED BASEMENT: 0.2% OF FLOOR AREA



2		
1		
No.	Revision/Issue	Date

**LASONNE**

**2915 BUR OAK AVENUE  
ALTERATIONS  
Markham, Ontario**

TITLE:  
**GENERAL NOTES I**

Drawing No.	<b>S7</b>
Project No.	<b>1780</b>
Date	<b>NOV '17</b>
Drawn by:	<b>DF</b>
Checked by:	<b>DF</b>

**APPENDIX "B"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/36/18**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report and dated *November 2017* and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner implement and maintain all of the works required in accordance with the conditions of this variance;
4. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.
5. That the Owner register the home as a four-unit house with the City of Markham Fire & Emergency Services Department, and satisfy any and all conditions for registration, to the satisfaction of the Fire Chief.

CONDITIONS PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects