

# Memorandum to the City of Markham Committee of Adjustment

April 01, 2019

**File:** A/26/19  
**Address:** 24 Almond Ave, Thornhill  
**Applicant:** Anae Sobhani  
**Agent:** EZed architects (Elmira Zarrabi)  
**Hearing Date:** Wednesday April 10, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 2237, R4, as amended:

- a) **Amending By-law 101-90, Section 1.2 (i):**  
a maximum building height of 9.29 metres, whereas the By-law permits a maximum building height of 8.6 metres;
- b) **Amending By-law 101-90, Section 1.2 (vii):**  
a maximum floor area ratio of 52.3 percent (3,266 sq. ft.), whereas the By-law permits a maximum floor area ratio of 50 percent (3,125 sq. ft.);

as they relate to a proposed residential dwelling.

## BACKGROUND

### Property Description

The 580.6 m<sup>2</sup> (6,250 ft<sup>2</sup>) subject property is located on the north side of Almond Ave, north of Steeles Avenue E, east of Henderson Avenue and west of Bayview Avenue. According to assessment records collected in 1999, there is an existing two-storey detached 191.82 m<sup>2</sup> (2,064.73 ft<sup>2</sup>) dwelling located on the property. One mature tree exists at the front of the property.

### Proposal

The applicant is proposing to construct a new two-storey detached 303.4 m<sup>2</sup> (3,266 ft<sup>2</sup>) dwelling with an attached garage, rear basement walkout and a rear uncovered deck.

### Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the development is appropriate for the site and also generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard must also be had for retention of existing trees and vegetation, as well as the width of proposed garages and driveways. Planning staff have had regard for the infill development criteria in the preparation of the comments provided below.

### Zoning By-Law 1229

The subject property is zoned R4 – "Fourth Density Single Family Residential" under By-law 2237, as amended, which permits a single detached dwelling.

### Residential Infill Zoning By-law 101-90

The subject property is also subject to the Residential Infill Zoning By-law 101-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to maximum building height and maximum floor area ratio.

### **Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, the reason for not complying with Zoning is, "*Relief is requested to construct a new dwelling and to accommodate the new integral 2 car garage*".

### **Zoning Preliminary Review (ZPR) Undertaken**

The owner has completed a Zoning Preliminary Review (ZPR) on February 14, 2019, to confirm the variances required for the proposed development.

### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

### **Increase in Maximum Floor Area Ratio**

The applicant is requesting relief to permit a floor area ratio of 52.3 percent, whereas the By-law permits a maximum floor area ratio of 50 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 303.4 m<sup>2</sup> (3,266 ft<sup>2</sup>), whereas the By-law permits a dwelling with a maximum floor area of 290.32 m<sup>2</sup> (3,125 ft<sup>2</sup>). This represents an increase of approximately 13.08 m<sup>2</sup> (140.8 ft<sup>2</sup>) or, approximately 4.5 percent.

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area however; it is not a definitive measure of the mass of the dwelling. While the proposed dwelling is larger than existing dwellings, it will comply with the minimum setbacks. The proposed lot coverage is approximately 23.5 percent, which complies with the maximum 35 percent lot coverage. Staff are of the opinion that the proposed floor area ratio is minor in nature and will not result in demonstrable adverse impacts on neighbouring homes.

### **Increase in Maximum Building Height**

The applicant is requesting relief to permit a maximum building height of 9.29 m (30.48 ft), whereas the By-law permits a maximum building height of 8.6 m (28.22 ft). This represents an increase of 0.69 m (2.26 ft).

The By-law calculates building height using the vertical distance of building or structure measured between the level of the crown of the street and highest point of the roof surface. It should be noted that the proposed grade of the front of the house is approximately 0.17 m (0.56 ft) above the crown of road.

**PUBLIC INPUT SUMMARY**

No written submissions were received as of April 01, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:

  
\_\_\_\_\_  
David Miller, Development Manager, West District  
File Path: Ammandat\Files\19-114996\Documents\District Team Comments Memo

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/26/19**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on *March 22, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations;
4. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

LOT 55  
P.L.N. 03018-0223 (L.T.)

LOT 54  
P.L.N. 03018-0224 (L.T.)

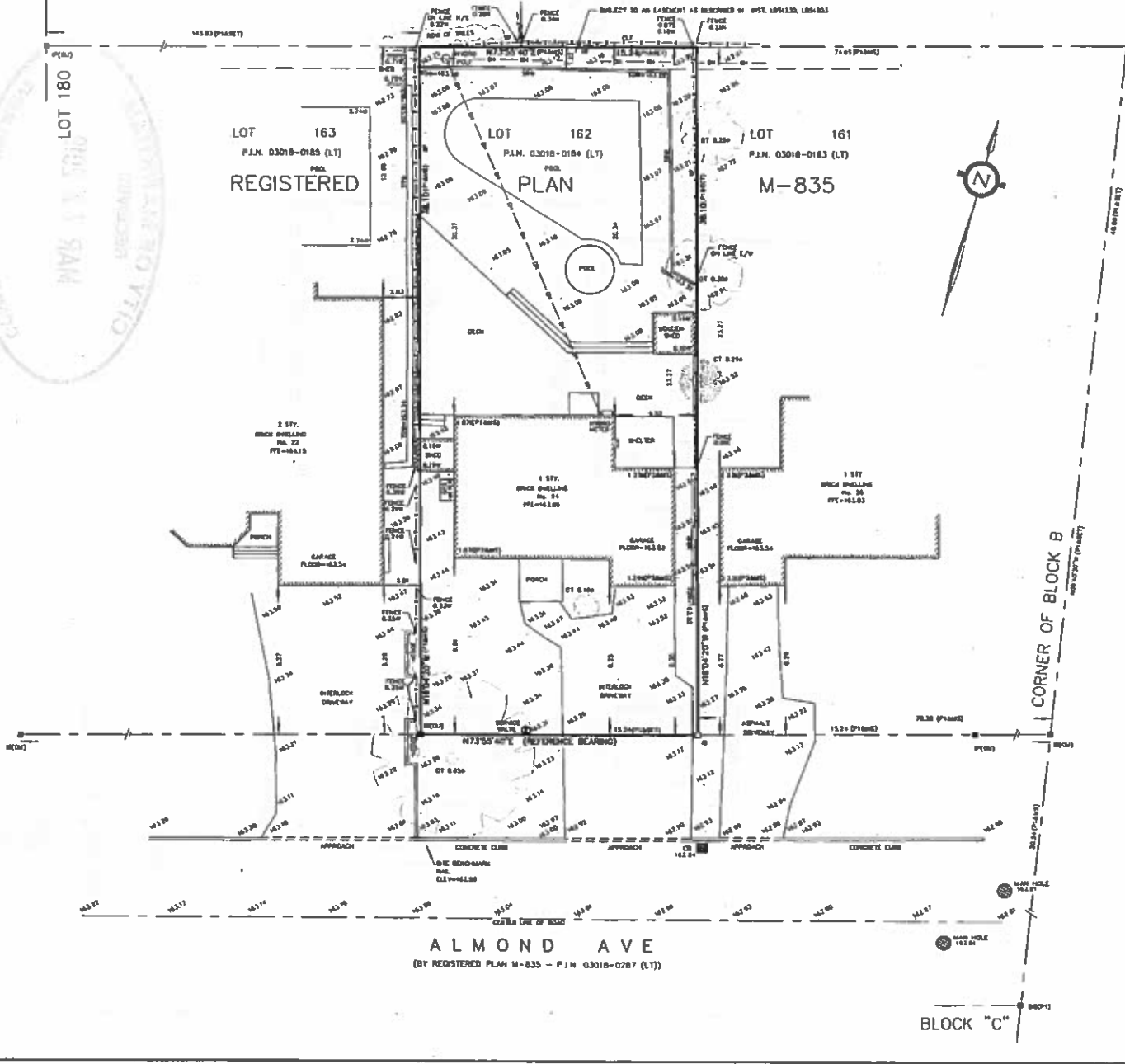
REGISTERED

PLAN M-835

LOT 163  
P.L.N. 03018-0185 (L.T.)  
REGISTERED

LOT 162  
P.L.N. 03018-0184 (L.T.)  
PLAN M-835

LOT 161  
P.L.N. 03018-0183 (L.T.)



SURVEYOR'S REAL PROPERTY REPORT  
PART 1  
PLAN OF SURVEY OF  
LOT 162  
REGISTERED PLAN M-835  
IN THE  
CITY OF MARKHAM

SCALE & NOTES  
Scale 1:150  
10 METRES

BARICH GRENKIE SURVEYING LTD.  
A DIVISION OF GEOMAPLE  
©COPYRIGHT 2018

METRIC  
DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE  
ELEVATIONS ARE REFERRED TO A B.M. IN FRONT OF SUBJECT LAND  
HAVING AN ELEVATION OF 162.99m.  
ELEVATION DEPICTED ON THE FACE OF THIS PLAN ARE FOR DESIGNING PURPOSES ONLY.

BEARING NOTE  
BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE NORTHERLY LIMIT  
OF ALMOND AVENUE AS SHOWN ON PLAN M-835 HAVING A BEARING  
OF N73°55'40"E.

- LEGEND
- B DENOTES SURVEY MONUMENT FOUND
  - D DENOTES SURVEY MONUMENT PLANTED
  - IB DENOTES IRON BAR
  - SB DENOTES STANDARD IRON BAR
  - SP DENOTES IRON PIPE
  - PK DENOTES SURVEYORS NAIL SET IN WASHER
  - OU DENOTES ORIGIN UNKOWN
  - CC DENOTES CUT CROSS
  - WH DENOTES WASHHOLE
  - BC DENOTES BEGINNING OF CURVE
  - EC DENOTES END OF CURVE
  - TC DENOTES TANGENT OF CURVE
  - PRC DENOTES POINT OF REVERSE CURVE
  - OH DENOTES OVERHEAD UTILITY CABLES
  - DT DENOTES DECIDUOUS TREE
  - CT DENOTES CONIFEROUS TREE
  - LS DENOTES LIGHT STANDARD
  - INV DENOTES INVERT ELEVATION
  - HYD DENOTES FIRE HYDRANT
  - CRW DENOTES CONCRETE RETAINING WALL
  - SRW DENOTES STONE RETAINING WALL
  - WRW DENOTES WOOD RETAINING WALL
  - TOW DENOTES TOP OF WALL ELEVATION
  - TOC DENOTES TOP OF CONCRETE CURB ELEVATION
  - BOC DENOTES BOTTOM OF CURB ELEVATION
  - RFW DENOTES RETAINING WALL
  - CLF DENOTES CHAIN LINK FENCE
  - BF DENOTES BOARD FENCE
  - MF DENOTES METAL FENCE
  - FFE DENOTES FINISHED FLOOR ELEVATION
  - OFF DENOTES GARAGE FLOOR ELEVATION
  - P1 DENOTES REGISTERED PLAN M-835
  - P2 DENOTES SURVEY BY MARSHALL, MACKLIN AND MORGAN D.L.S.



PART 2  
REGISTERED EASEMENTS/RIGHTS-OF-WAY - AS  
DESCRIBED IN INSTRUMENT NO. LB51230  
ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND  
PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN  
THIS PLAN WAS PREPARED FOR MELAD SOOHWAN AND THE UNDISCLOSED  
ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE  
I CERTIFY THAT  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS  
ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON OCTOBER 18, 2018.

OCTOBER 18, 2018  
*J. V. Consoli*  
GILDO V. CONSOLI  
ONTARIO LAND SURVEYOR

Barich Grenkie  
Surveying Ltd.  
A DIVISION OF GEOMAPLE  
DWN BY: SN-FP  
CHK BY: GVC  
JOB No.: 18-0145

APPENDIX B

**SPECIAL NOTES:**

1. THESE DRAWINGS AND THE CONSENT NOT BE REPRODUCED WITHOUT WRITING FROM THE ARCHITECT.
2. THESE DRAWINGS ARE FOR EXHIBIT APPLICATION PURPOSES. CONSTRUCTION MUST BE ACCORDING TO THE LATEST EDITION OF THE CANADIAN NATIONAL BUILDING CODE. ANY DISCREPANCY MUST BE CORRECTED BY THE ARCHITECT.
3. DO NOT SCALE DRAWINGS.
4. ALL WORK SHALL BE CHECKED OUT IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL BUILDING CODE.
5. WHEN ALL PARTITIONS PRIOR TO CONSTRUCTION, OWNERS MUST BE ADVISED AND APPROVED BY THE ARCHITECT.
6. CONSTRUCTION MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CANADIAN NATIONAL BUILDING CODE.
7. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DRAWINGS.

NO.	ISSUED FOR	DATE
1	ISSUED FOR	Fri 11, 2019
2	ISSUED FOR	Thu 11, 2019

**PROJECT ADDRESS:**  
 24 ALMOND AVE  
 MARKHAM ON R4

**PROJECT NO.:**  
**DRAWING TITLE:**  
 COVER

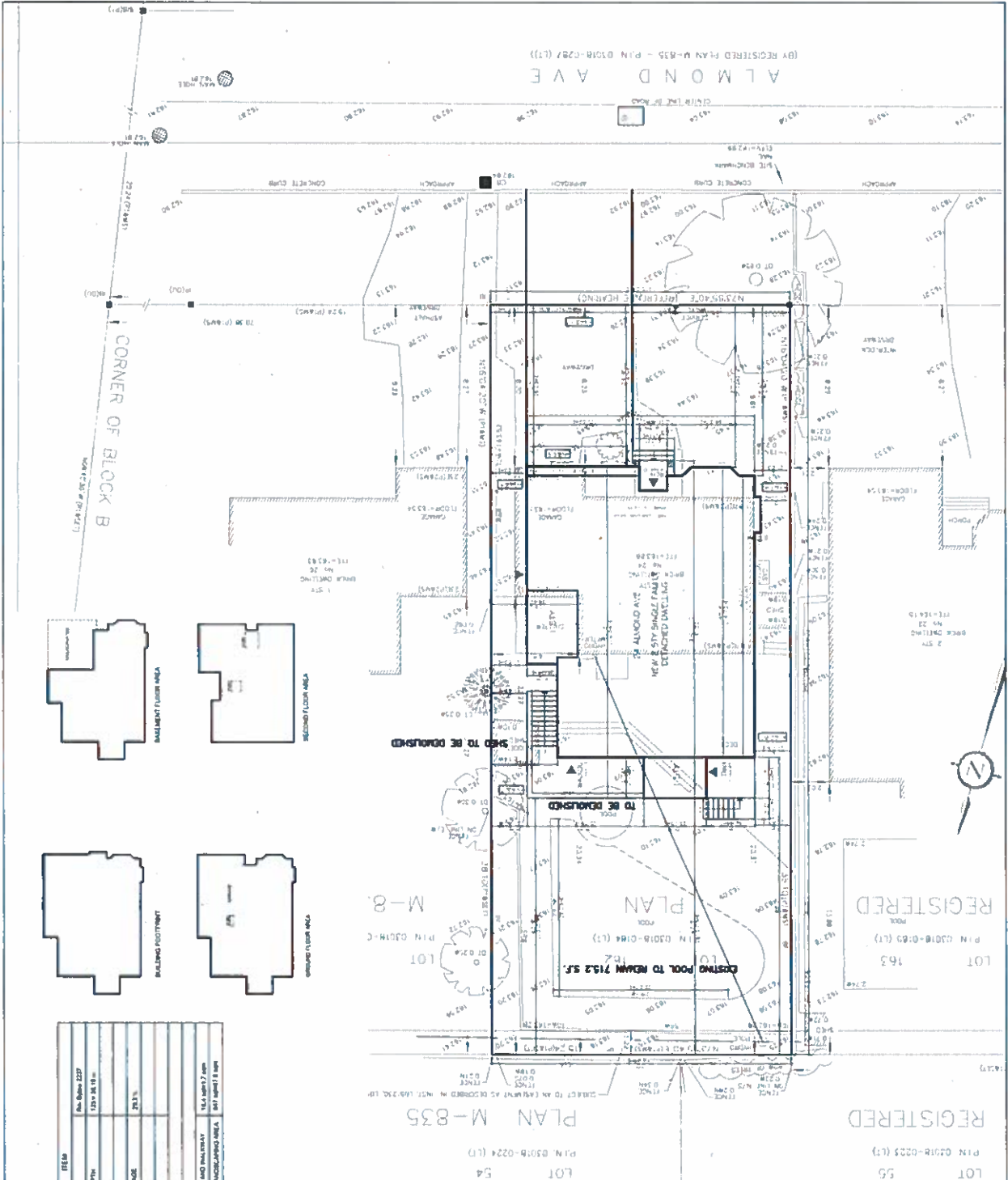
NO.	REVISION	DATE
1	ISSUED FOR	Fri 11, 2019
2	ISSUED FOR	Thu 11, 2019



**EZed ARCHITECTS**  
 416.6895.6366  
 1100 SHEPPARD AVE. E. SUITE 100  
 SCARBOROUGH, ONTARIO M1S 1T5  
 CANADA

**SCALE:** 1/16" = 1'-0"  
**DRAWN BY:** EUMRIA ZARRABI  
**DATE:**

**A0**



**24 ALMOND AVENUE**

ITEM	ITEM	ITEM
LOT AREA	6275 sqm (14000 sq ft)	Lot Area 2237
LOT FRONTAGE	207.13 m (680 ft)	Zone R4
BASEMENT FLOOR AREA	145.29 sqm (1563 sq ft)	Lot Depth 125.26 m (411 ft)
GROUND FLOOR AREA	117.17 sqm (1259 sq ft)	Coverage 29.3%
NET FLOOR AREA	117.17 sqm (1259 sq ft)	
LANDSCAPING CALCULATION		
OPEN SPACE AREA	483.8 sqm (521 sq ft)	POORLY AND PARTIALLY
FRONT YARD AREA	180 sqm (193 sq ft)	SUFFICIENT LANDSCAPING AREA
LANDSCAPING AREA	303.8 sqm (328 sq ft)	147 sqm (158 sq ft)



**CITY OF MARKHAM RECEIVED**  
**MAR 22 2019**  
**COMMITTEE OF ADJUSTMENT**





**GENERAL NOTES:**

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE EXISTING AND NEW STRUCTURES AND UTILITIES PRIOR TO CONSTRUCTION.
2. THESE DIMENSIONS ARE FOR PERMIT ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE EXISTING AND NEW STRUCTURES AND UTILITIES PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DIMENSIONS.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL STRUCTURAL CHANGES MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.

NO.	REVISION	DATE
1	ISSUE	FEB 14, 2019
2	ISSUE	FEB 15, 2019

**PROJECT ADDRESS:**  
 24 ALHOND AVE  
 MARKHAM, ONTARIO

**PROJECT NO.:**  
**DRAWING TITLE:**  
 MAIN FLOOR PLAN

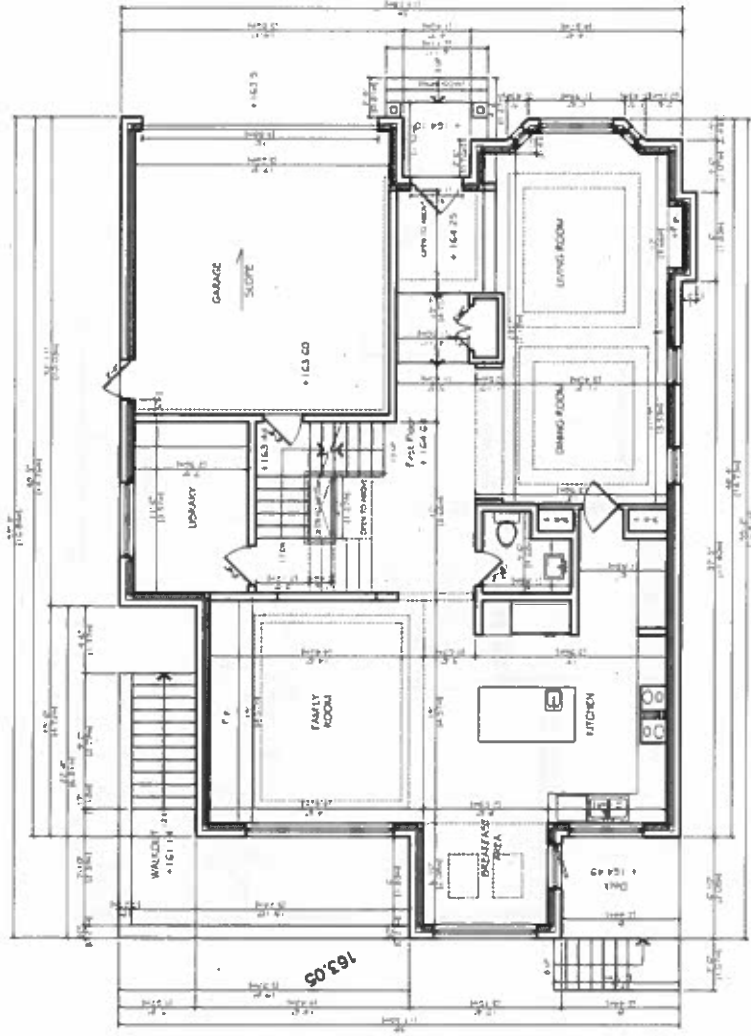
NO.	REVISION	DATE
1	ISSUE	FEB 14, 2019



**EZed ARCHITECTS**  
 PHONE: 416-495-6186  
 EMAIL: EZEDARCHITECTS@GMAIL.COM  
 278 DUNDAS ST. W. UNIT 406  
 TORONTO, ONT. CANADA  
 M5G 1B5

SCALE:	1/8" = 1'-0"
DRAWN BY:	ELMIRA ZARRABI
DATE:	

**A3**



**GENERAL NOTES:**

1. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT PURPOSES ONLY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS MUST BE CHECKED AGAINST THE DRAWINGS.
5. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
6. ALL STRUCTURAL CHANGES MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.
8. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.
9. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.
10. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS.

NO.	ISSUED FOR	DATE
1	Permit	Feb 11, 2019
2	(ca)	Mar 15, 2019

**PROJECT ADDRESS:**  
 24 ALMOND AVE  
 MARKHAM ONTARIO

**PROJECT NO.:**  
**DRAWING TITLE:**  
 SECOND FLOOR PLAN

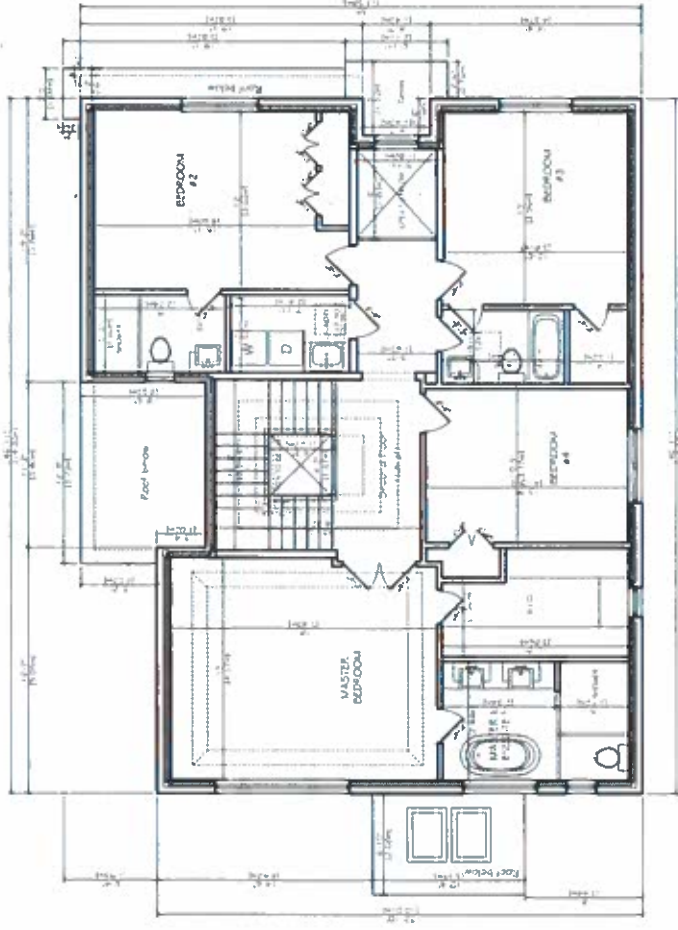
NO.	REVISION	DATE
1	Permit	Feb 11, 2019



**Ezed ARCHITECTS**  
 1111 SHEPPARD AVE. E. SUITE 101  
 MARKHAM, ONTARIO L3R 9V4  
 TEL: (416) 495-6366  
 EMAIL: EZEDEDARCHITECTS.COM

<b>SCALE:</b>	1/8" = 1'-0"
<b>DRAWN BY:</b>	ELMIRA ZARRABI
<b>DATE:</b>	

**A4**



**GENERAL NOTES:**

1. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND WILL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT ONLY. ALL APPLICABLE BY-LAWS AND REGULATIONS MUST BE OBSERVED AND REPORTED TO THE RELATOR AND OWNER.
3. DO NOT SCALE DRAWINGS.
4. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
5. ALL STRUCTURAL CHANGES MUST BE APPROVED BY THE STRUCTURAL ENGINEER. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING INFORMATION SHOWN ON THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK.

NO.	REVISION	DATE
1	ZONING	Feb 04, 2019
2	CGA	Mar 05, 2019

**PROJECT ADDRESS:**  
 74 ALMOND AVE  
 MARKHAM ONTARIO

**PROJECT NO.:**  
**DRAWING TITLE:**  
 ROOF PLAN

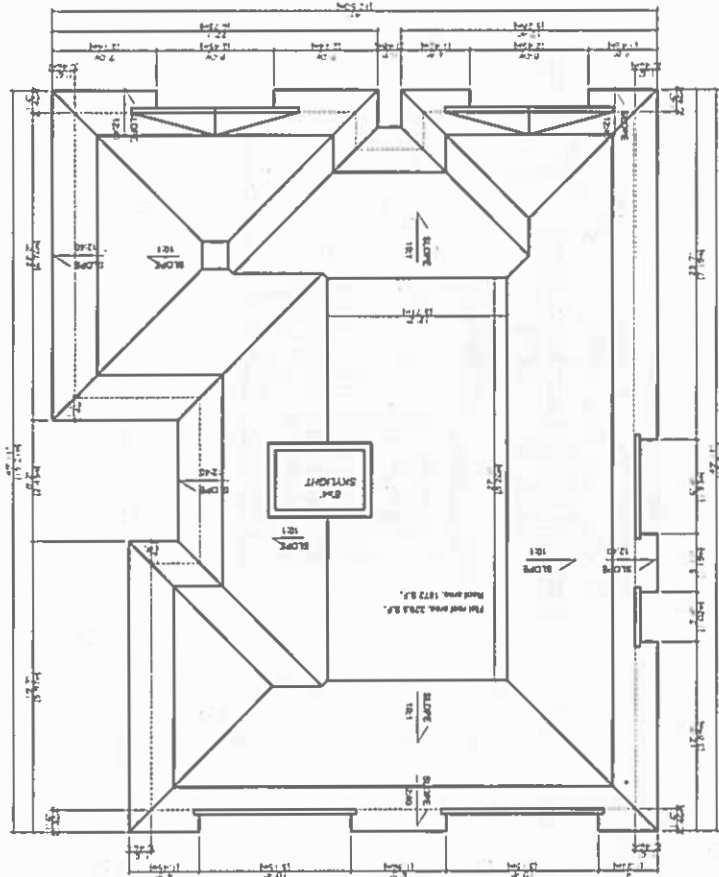
NO.	REVISION	DATE
1	ZONING	Feb 07, 2019



**Ezed ARCHITECTS**  
 114 MILLIKEN BLVD  
 ELMHURST, ONTARIO L3B 3Y5  
 TEL: 905-885-6366  
 ELMHURST@EZEDARCHITECTS.COM  
 270 BURNHAM MOUNTAIN RD, UNIT 406  
 TORONTO ON, CANADA  
 M2B 3P5

<b>SCALE:</b>	1/8" = 1'-0"
<b>DRAWN BY:</b>	ELMIRA ZARRABI
<b>DATE:</b>	

**A5**



**GENERAL NOTES:**

1. THESE DRAWINGS ARE THE COMMON PROPERTY OF EZEDED ARCHITECTS AND NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSES ONLY. CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
3. DO NOT SCALE DIMENSIONS.
4. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODES.
5. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONAL CHANGES MUST BE APPROVED AND APPROVED BY CIRCLED AND INITIALED BY THE ARCHITECT.
6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ETC. DRAWINGS. REFER TO APPROPRIATE SPECIALTISTS FOR SUCH WORK.

NO.	ISSUED FOR	DATE
1	zoning	Feb 11, 2019
2	(O.A.)	Mar 19, 2019

**PROJECT ADDRESS:**  
 74 ALMOND AVE  
 MARKHAM, ONTARIO

**PROJECT NO.:**  
**DRAWING TITLE:**  
 MAIN (SOUTH) ELEVATION

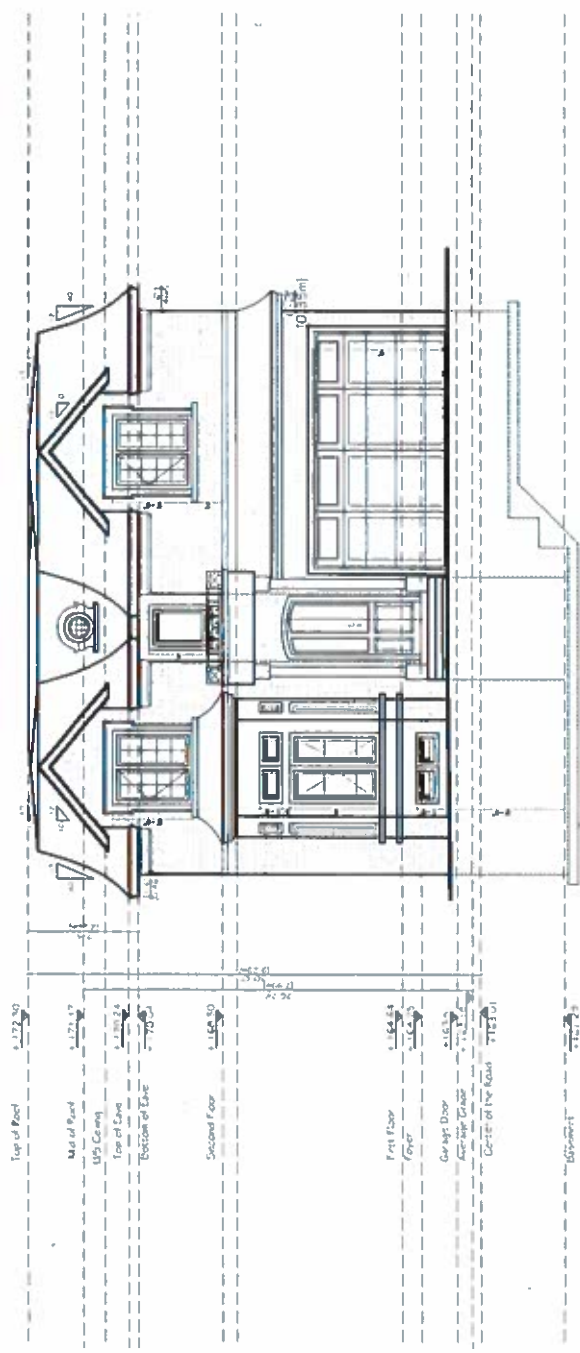
NO.	REVISION	DATE
1	zoning	Feb 17, 2019



**EZEd ARCHITECTS**  
 TEL: 416-403-5543  
 WWW.EZEDARCHITECTS.COM  
 1000 SHEPPARD AVENUE EAST, SUITE 406  
 MARKHAM, ONTARIO, CANADA  
 M3B 3Y5

**SCALE:** 1/8"=1'-0"  
**DRAWN BY:** ELPORA ZARRABI  
**DATE:**

**A6**



**GENERAL NOTES:**

1. THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT ONLY. THE CONTRACTOR SHALL CHECK ALL APPLICABLE BY-LAWS AND REGULATIONS TO BE OBSERVED AND REFERRED TO BY THE ARCHITECT AND OWNER.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS SHALL BE SHOWN ON THE DRAWING UNLESS OTHERWISE NOTED.
5. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
6. ALL STRUCTURAL CHANGES MUST BE APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
7. ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER TRADES DRAWINGS. CONSULT WITH THE RESPECTIVE TRADES CONTRACTORS ON ANY CONFLICTING DIMENSIONS BEFORE PROCEEDING WITH WORK.

NO.	ISSUED FOR	DATE
1	Zoning	Feb 14, 2019
2	CGA	Mar 15, 2019

**PROJECT ADDRESS:**  
 74 ALMOND AVE  
 MARKHAM, ONTARIO

**PROJECT NO.:**  
**DRAWING TITLE:**  
 REAR (NORTH) ELEVATION

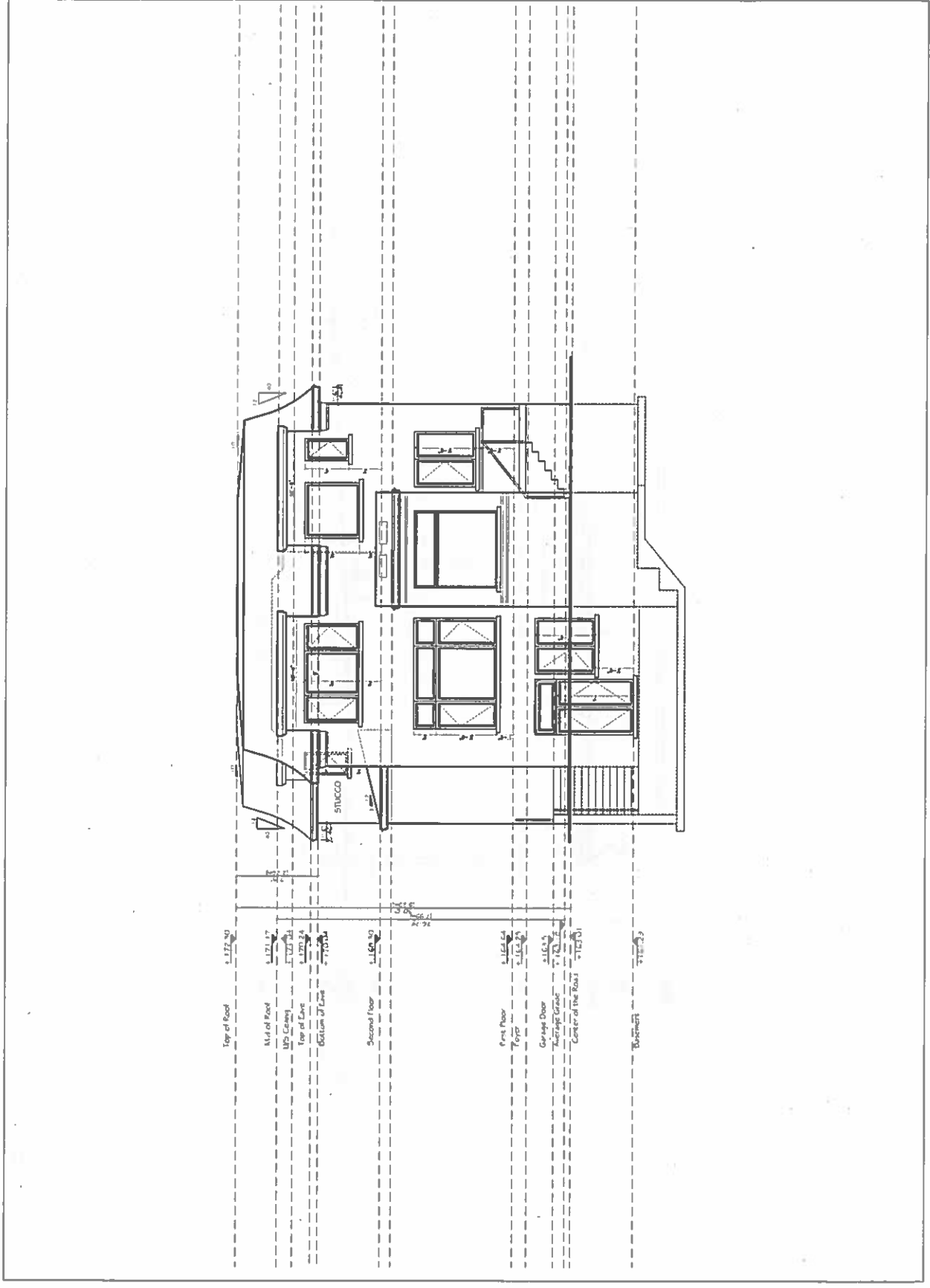
NO.	REVISION	DATE
1	Zoning	Feb 07, 2019



**EZed ARCHITECTS**  
 PHONE: (416) 465-6366  
 EMAIL: ELPHRA@EZEDARCHITECTS.COM  
 ADDRESS: 270 DORTCHMAN RD., UNIT 404,  
 MARKHAM, ON, CANADA  
 M3B 3J5

SCALE:	1/8" = 1'-0"
DRAWN BY:	ELPHRA ZARRABI
DATE:	

**A7**



**GENERAL NOTES:**

1. THESE DRAWINGS ARE THE PROPERTY OF EZED ARCHITECTS AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR PERMIT ONLY. ALL APPLICABLE REGULATIONS, CODES AND ORDINANCES MUST BE OBSERVED.
3. ALL DIMENSIONS MUST BE CHECKED ON SITE.
4. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
5. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
6. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
7. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
8. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
9. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
10. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
11. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
12. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
13. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
14. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
15. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
16. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
17. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
18. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
19. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.
20. ALL DIMENSIONS MUST BE CHECKED OUT IN THE FIELD.

NO.	ISSUED FOR	DATE
1	FORMS	FEB 11, 2019
2	GA	MAR 19, 2019

**PROJECT ADDRESS:**  
 74 ALMOND AVE  
 MARKHAM, ONTARIO

**PROJECT NO.:**  
**DRAWING TITLE:**  
 EAST SIDE ELEVATION

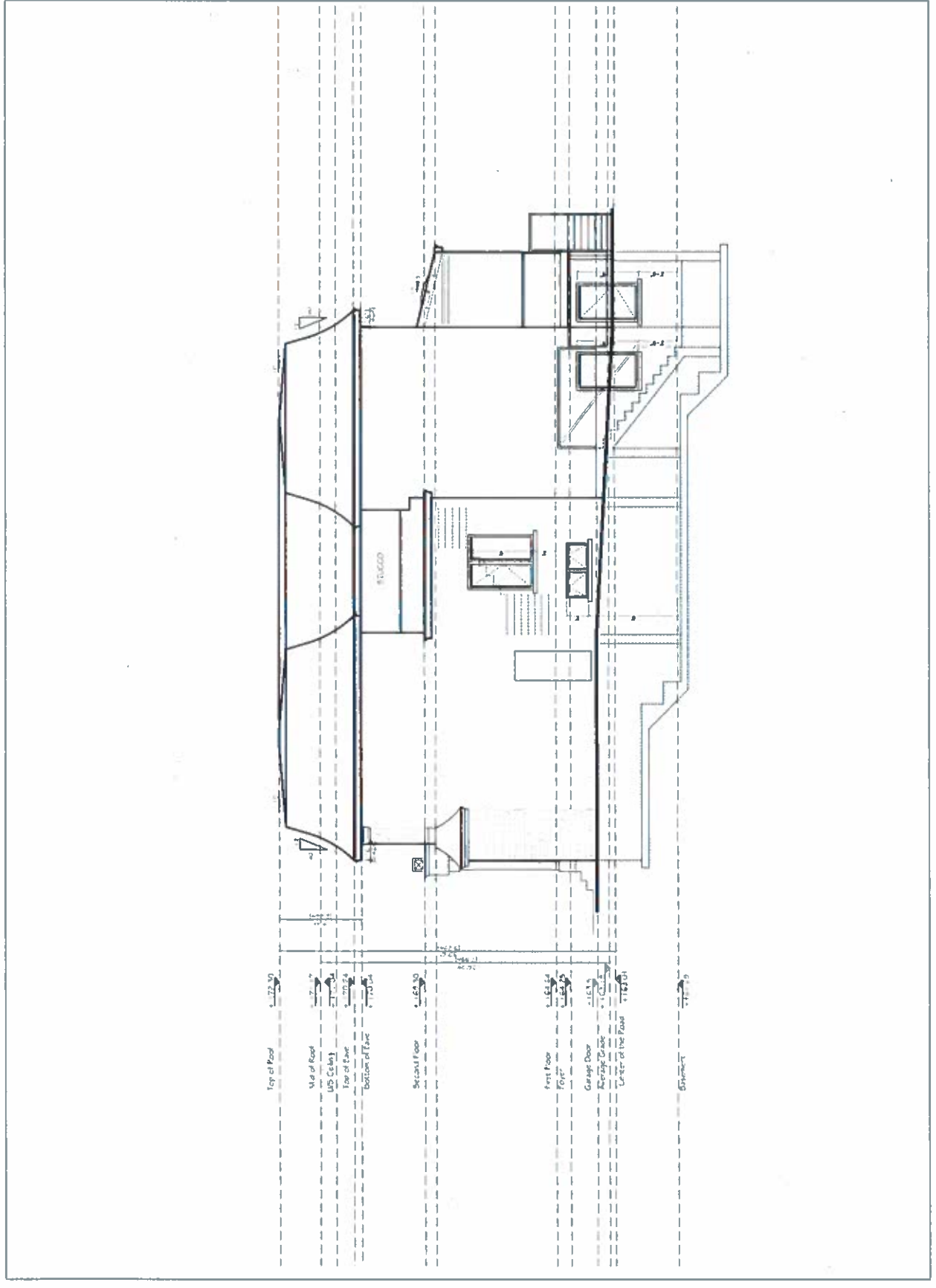
NO.	REVISION	DATE
1	FORMS	FEB 11, 2019



**EZED ARCHITECTS**  
 PHONE: 416-485-6346  
 EMAIL: EZEDARCHITECTS.COM  
 1275 SHEPPARD AVENUE EAST, SUITE 406  
 MARKHAM, ONTARIO, CANADA  
 M1B 3Y5

SCALE:	1/8"=1'-0"
DRAWN BY:	ELMIRA ZARRARI
DATE:	

**A8**



**GENERAL NOTES:**

1. THESE DIMENSIONS ARE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE PRODUCED WITHOUT WARRANTY.
2. THESE DIMENSIONS ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR MUST VERIFY ALL DIMENSIONS WITH THE ARCHITECT AND OWNER.
3. DO NOT SCALE DIMENSIONS.
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
5. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
6. ALL STRUCTURAL CHANGES MUST BE APPROVED BY THE ARCHITECT AND ENGINEER.
7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, OR MECHANICAL INFORMATION SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO PROCEEDING WITH WORK.

NO.	REVISION	DATE
1	2016.02.19	Feb 19, 2016
2	2016.02.19	Feb 19, 2016

**PROJECT ADDRESS:**  
 24 ALMOND AVE  
 MARKHAM, ONTARIO

**PROJECT NO.:**  
**DRAWING TITLE:**  
 WEST SIDE ELEVATION

NO.	REVISION	DATE
1	2016.02.19	Feb 19, 2016



**Ezed ARCHITECTS**  
 PHONE: +1(416)885-6346  
 EMAIL: info@ezedarchitects.com  
 770 DUNDAS ST. W. UNIT 416  
 TORONTO, ON CANADA  
 M5G 1B5

SCALE:	1/8" = 1'-0"
DRAWN BY:	ELHRA ZARRABI
DATE:	

**A9**

