

Memorandum to the City of Markham Committee of Adjustment

August 14, 2025

File: A/079/25
Address: 21 Ridgevale Dr, Markham
Agent: Sensus Design and Build
Hearing Date: Wednesday, August 20, 2025

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 2024-19, RES-ENLR, as amended, to permit:

- a) **By-law 2024-19, Section 6.3.2.2 (e):**
a maximum distance from the established building line of 25.72 metres for the first storey, whereas the by-law permits a maximum distance from the established building line of 19.5 metres for the first storey;
- b) **By-law 2024-19, Section 6.3.2.2 (e):**
a maximum distance from the established building line of 22.71 metres for the second storey, whereas the by-law permits a maximum distance from the established building line of 14.5 metres for any storey above the first;
- c) **By-law 2024-19, Section 6.3.2.2(j):**
a roof structure with a pitch of less than 25 degrees to project a maximum of 2.95 metres, whereas the by-law permits a maximum roof projection of 1 metre;

as it relates to a proposed two-storey residential dwelling.

BACKGROUND

Property Description

The 4,248.22 m² (45,725 ft²) subject property is located on the east side of Ridgevale Drive, west of 9th Line and south of 14th Avenue. It is situated within a residential neighbourhood characterized by large lots, ranging from approximately 4,000 m² (43,055 ft²) to 4,500 m² (48,437 ft²) in size. The property contains an existing detached dwelling, which according to assessment records was constructed in 1967. Vehicular access is provided via a circular driveway from Ridgevale Drive. Mature vegetation is present throughout the site, including large trees in the front yard and along the side lot lines.

Proposal

The applicant is proposing to construct a new two-storey detached dwelling with a gross floor area of approximately 644.47 m² (6,937 ft²). The existing circular driveway will be retained. Most of the existing trees, including those in the front yard and along the north and south property lines, are proposed to be preserved. A private sewage system is proposed in the rear yard.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on July 17/24)

The Official Plan designates the subject property "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines infill development criteria for the "Residential Low Rise" designation with respect to height, massing, and setbacks. These criteria are established to ensure

that infill developments are appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, development is required to meet the general intent of the above noted development criteria. In addition, regard shall be had for the retention of existing trees and vegetation. Planning Staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 2024-19

The subject property is zoned “Residential – Established Neighbourhood Low Rise (RES-ENLR)” under By-law 2024-19, as amended, which permits single detached dwellings. The proposed development does not comply with the by-law with respect to roof projection and the maximum distance between the main building and the established building line.

Zoning Preliminary Review (ZPR) Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the applicant has received comments from the Building Department through their permit process (24.191022 HP) to confirm the variances required for the proposed development.

The applicant has indicated on the application form that the plans have been revised since receiving the zoning comments. As the revised drawings have not been reviewed by the Building Department, if errors are found in the current variance request, or if additional variances are identified during the Building Permit review process, further variance applications may be required to address any non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Distance from the Established Building Line (first and second storey)

The applicant is requesting to permit a maximum distance of 25.72 m (84.38 ft) from the established building line for the first storey and a maximum distance of 22.71 (74.5 ft) metres from the established building line for the second storey, whereas the by-law permits a maximum of 19.5 m (63.97 ft) for the first storey and 14.5 m (47.57 ft) metres for the second storey. This represents an increase of 6.22 m (20.4 ft) for the first storey and 8.21 m (26.93 ft) for the second storey.

The requested variances are partly the result of the measurement being taken at an angle through the building, given the lot’s configuration and the orientation of the proposed dwelling. Staff also note that the design incorporates several wall projections, particularly at the northeast corner, which add approximately 2.75 m (9 ft) to the first-storey depth and 1.64 m (5.38 ft) to the second storey. The main portion of the dwelling has a depth of approximately 21 m (68.89 ft), which is generally consistent with surrounding homes.

Further, given the generous separation from the abutting homes and the preservation of mature trees along the side lot lines to provide screening, staff do not anticipate that the increased building depth will result in any adverse impact on adjacent properties. In staff's opinion, the requested variance is generally in keeping with the established development pattern in the neighbourhood.

Increase in Roof Projection

The applicant is requesting to permit a maximum roof projection of 2.95 m (9.67 ft), whereas the by-law permits a maximum roof projection of 1 m (3.28 ft). This represents an increase of approximately 1.95 m (6.39 ft).

The design features varied rooflines, including multiple gable forms and changes in ridge heights, which helps break up the vertical massing and reduce the perceived height of the dwelling. Staff consider the overall proportion of the building appropriate and compatible with the other homes on similarly sized lots in the neighbourhood. Further, given the proposed dwelling will be well setback from both the street and adjacent homes to further mitigate the impact of the height increase, staff are of the opinion that the requested variance is minor and have no concern.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 14, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the requested variances meet the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Carlson Tsang, Senior Planner, East District

REVIEWED BY:



Stacia Muradali, Development Manager, East District

Appendices

Appendix "A" – Conditions of Approval

Appendix "B" – Plans

File Path: Amanda\File\25 124530 \Documents\District Team Comments Memo

APPENDIX "A"

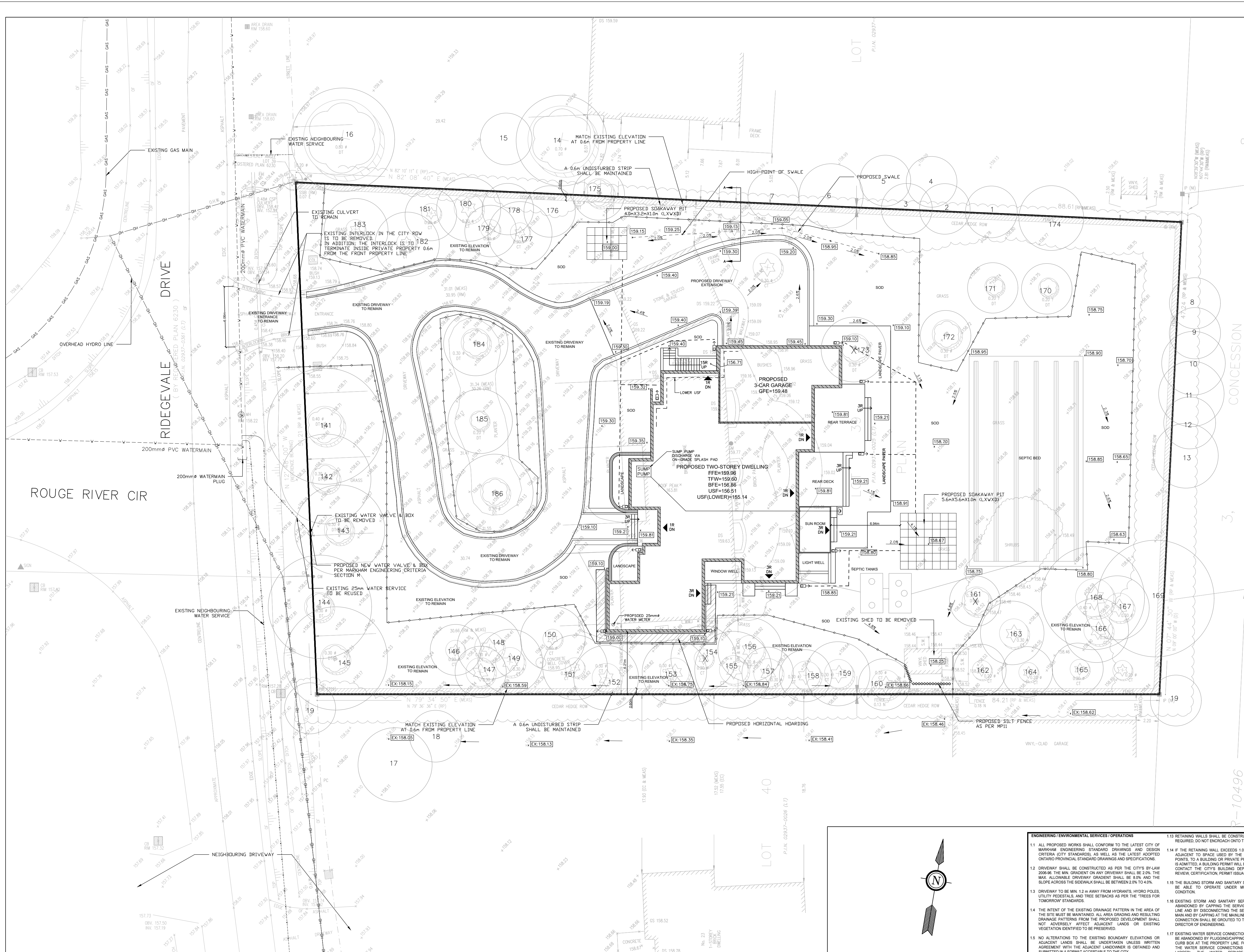
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/079/25

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction;

CONDITIONS PREPARED BY:



Carlson Tsang, Senior Planner, East District



Appendix B

File: 21-10496-0001

Date: 8/14/2025
MM/DD/YYYY

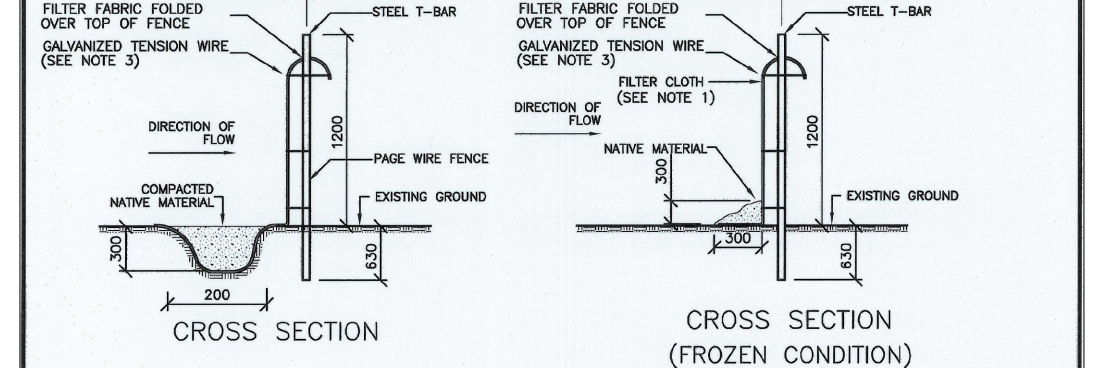
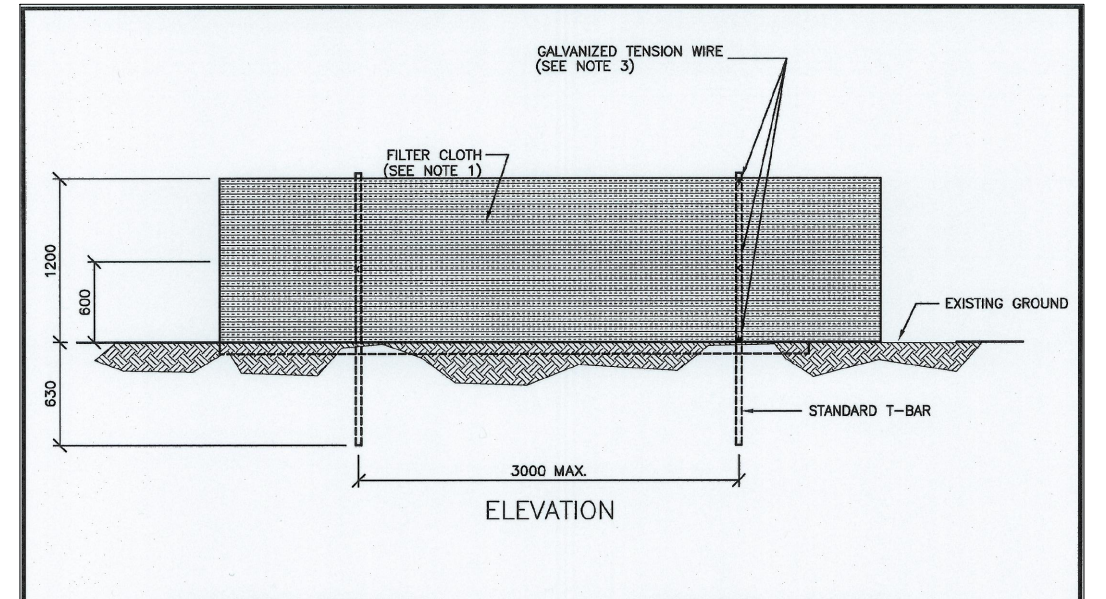
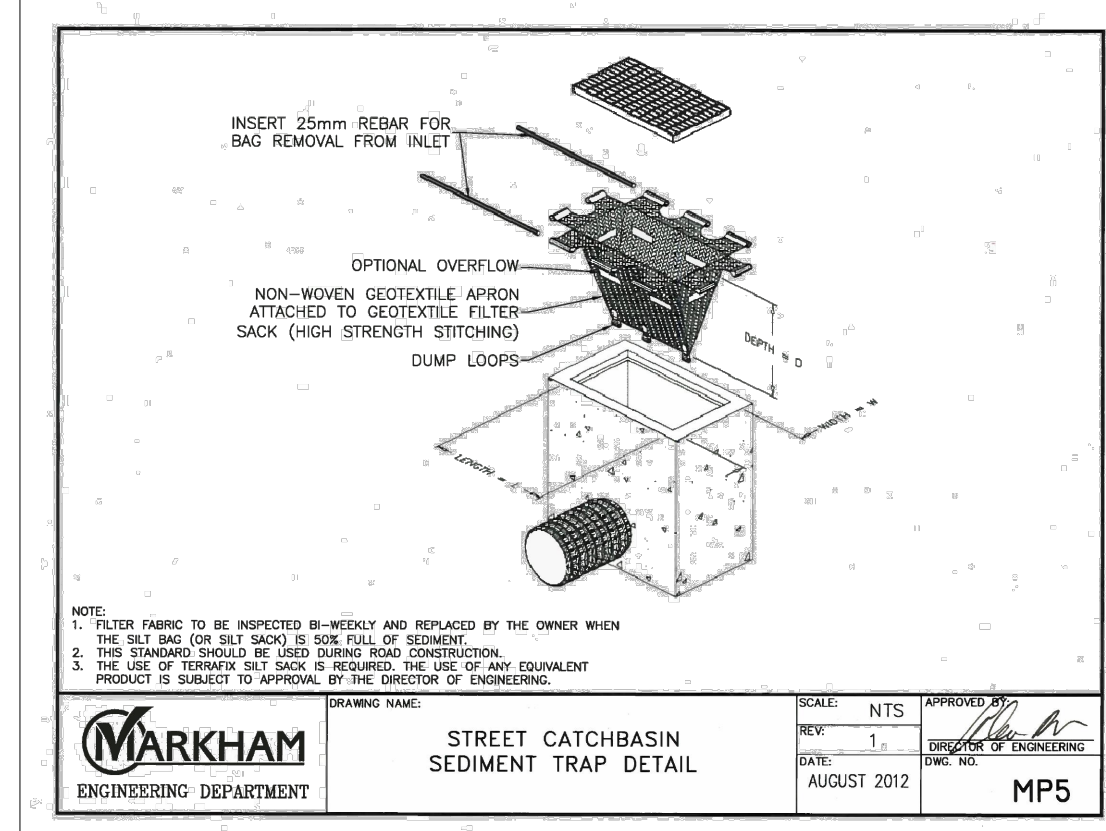
1. **EROSION AND SEDIMENT CONTROL**

- PROTECT ALL EXPOSED SURFACE AND CONTROL ALL RUNOFF DURING CONSTRUCTION.
- ALL EROSION CONTROL MEASURES TO BE IN PLACE BEFORE STARTING CONSTRUCTION AND REMAIN IN PLACE UNTIL RESTORATION/CONSTRUCTION IS COMPLETE.
- MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION IN GOOD WORKING ORDER.
- MINIMIZE AREA DISTURBED DURING CONSTRUCTION.
- PROTECT ALL CATCHBASINS, MANHOLES AND PIPE ENDS FROM SEDIMENT INFILTRATION.
- KEEP ALL SPLUMS CLEAN DURING CONSTRUCTION.
- PREVENT WIND BLOWN DUST BY WATERING, SEEDING DISTURBED AREAS, STABILIZATION, AS REQUIRED.
- SILT FENCE TO BE USED IN LOCALIZED AREAS IF REQUIRED AND AS DETERMINED BY THE ENGINEER.
- GRAVEL ENTRANCE SHALL BE PROVIDED WHEREVER EQUIPMENT LEAVES THE DRIVEWAY ONTO PAVED SURFACES. GRAVEL BED SHALL BE A MINIMUM OF 0.3m DEEP AND SHALL CONSIST OF COARSE (50mm CRUSHED STONE) GRAVEL. GRAVEL ENTRANCE SHALL BE MAINTAINED IN CLEAN CONDITION DURING CONSTRUCTION.

2. **BENCHMARK NOTE**

A">
- ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF MARKHAM BENCHMARK N52-169 WITH A PUBLISHED ELEVATION OF 161.560 METRES.
- BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE EASTERLY LIMIT OF RIDGEVALE DRIVE HAVING A BEARING OF 12°48'00"W AS SHOWN ON REGISTERED PLAN M35BB.

SCALE 1:200



NOTES:

- FILTER FABRIC TO BE TERRAZ 270R OR APPROVED EQUIVALENT.
- GEOTEXTILE TO HAVE A HORIZONTAL OVERLAY OF 100mm AT JOINTS.
- SINGLE STRAND GALVANIZED TENSION WIRE PASSING THROUGH T-BAR AND FILTER CLOTH.
- HORIZONTAL SPACING OF T-BARS TO BE AS SHOWN IN PLAN AND APPROVED BY THE DIRECTOR OF ENGINEERING.
- WOODEN POSTS TO BE USED AT LOW POINTS FOR LARGE CATCHMENT AREAS.

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN

MARKHAM ENGINEERING DEPARTMENT
DRAWING NAME: STANDARD SEDIMENT CONTROL FENCE
SCALE: NTS
DATE: SEPTEMBER 2010
MP11

NO.	ISSUED FOR	DATE
7	ADDRESSED COMMENTS	APR/02/25
6	DRAWING UPDATE	JAN/20/25
5	ADDRESSED COMMENTS	DEC/20/24
4	ADDRESSED COMMENTS	NOV/25/24
3	ADDRESSED COMMENTS	NOV/13/24
2	DRAWING UPDATE	OCT/17/24
1	BUILDING PERMIT	AUG/09/24

ALL MEASUREMENTS ARE IN METRES UNLESS OTHERWISE NOTED. UNAUTHORIZED USE OR REUSE OF THIS DRAWING IS NOT PERMITTED.

STAMP:

PREPARED BY:

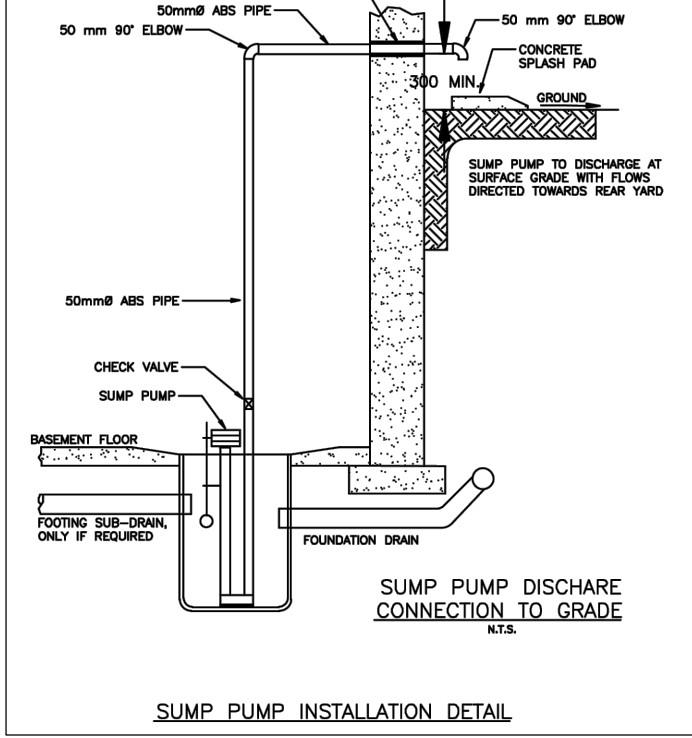
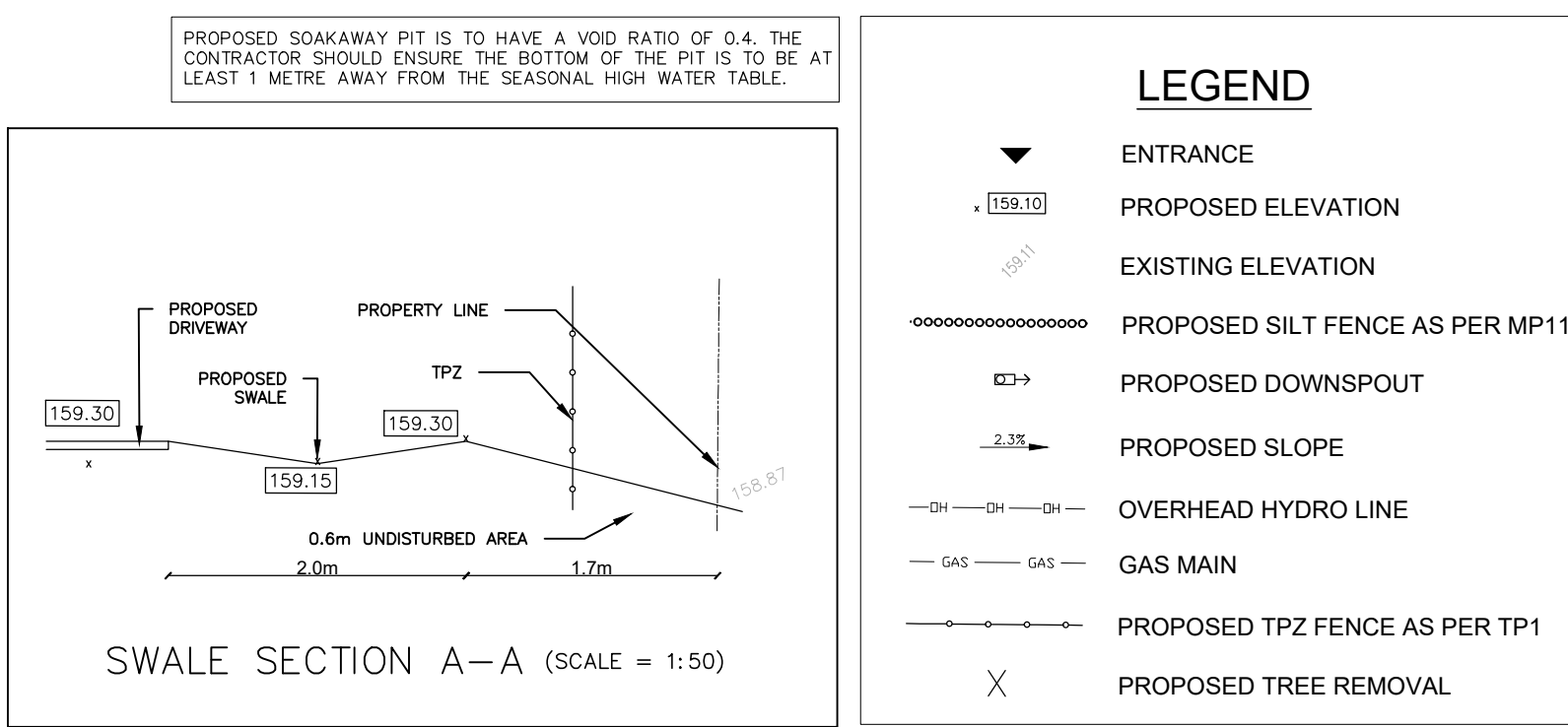
570 Alder Rd., Unit 6, Markham, ON L3R 8N5
(416) 340-8649 landbuilde@gmail.com

PROJECT NAME:
21 RIDGEVALE DRIVE, MARKHAM, ON L6B 1A8

PROJECT INFO:
PROPOSED TWO-STOREY DWELLING

DRAWING TITLE:
SITE GRADING & SERVICING PLAN

SCALE: 1:200
 DWG. NO.: N.T.S.
 DRAWN BY: J.L.
 CHECKED BY: J.P.
 PROJECT NO.: RIDGEVALE 21-24-01



LEGEND

- ENTRANCE
- PROPOSED ELEVATION
- EXISTING ELEVATION
- PROPOSED SILT FENCE AS PER MP11
- PROPOSED DOWNSPOUT
- PROPOSED SLOPE
- OVERHEAD HYDRO LINE
- GAS MAIN
- PROPOSED TPZ FENCE AS PER TP1
- PROPOSED TREE REMOVAL

- ENGINEERING / ENVIRONMENTAL SERVICES / OPERATIONS**
- ALL PROPOSED WORKS SHALL COMPLY WITH THE LATEST CITY OF MARKHAM ENGINEERING STANDARDS DRAWINGS AND DESIGN CRITERIA CITY STANDARDS AS WELL AS THE LATEST ADOPTED ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS.
 - DRIVEWAY SHALL BE CONSTRUCTED AS PER THE CITY'S BY-LAW 288R. THE MIN. GRADIENT ON ANY DRIVEWAY SHALL BE 2.0%. THE MAX. ALLOWABLE DRIVEWAY GRADIENT SHALL BE 8% AND THE SLOPE ACROSS THE DRIVEWAY SHALL BE BETWEEN 2% TO 4%.
 - DRIVEWAY TO BE MIN. 1.2m AWAY FROM HYDRANTS, HYDRO POLES, UTILITY PEDSTALS, AND TREE BRANCHES AS PER THE TREES FOR TOMORROW STANDARDS.
 - THE INTENT OF THE EXISTING DRAINAGE PATTERN IN THE AREA OF THE SITE MUST BE MAINTAINED. ALL AREA GRADING AND RESULTING DRAINAGE PATTERNS FROM THE PROPOSED DEVELOPMENT SHALL NOT ADVERSELY AFFECT ADJACENT LANDS OR EXISTING VEGETATION IDENTIFIED TO BE PRESERVED.
 - NO ALTERATIONS TO THE EXISTING BOUNDARY ELEVATIONS OR ADJACENT LANDS SHALL BE UNDERTAKEN UNLESS WRITTEN AGREEMENT WITH THE ADJACENT LANDOWNER IS OBTAINED AND SUBMITTED IN A FORMAT ACCEPTABLE TO THE CITY.
 - AN UNDISTURBED FLAT AREA HAVING A MIN. WIDTH OF 0.8m SHALL BE PROVIDED AT THE BOUNDARY (SETS ADJACENT TO ADJACENT PROPERTIES) IN ORDER THAT THE EXISTING BOUNDARY ELEVATIONS BE MAINTAINED. NO FILLING OR GRADING ON ADJACENT LANDS IS PERMITTED UNLESS A WRITTEN PERMISSION FROM THE AFFECTED LANDOWNER IS OBTAINED AND SUBMITTED TO THE CITY.
 - SOE YARDS SHALL BE DRAINED AT SURFACE SLOPES NOT BELOW 2.0% TO EXISTING POSITIVE DRAINAGE OUTLETS.
 - DRAINAGE SWALE LONGITUDINAL SLOPES SHALL BE BETWEEN 2% TO 3.0%. DOWNHILL SWALE SIDE SLOPES SHALL NOT EXCEED 1:3 AND SHALL HAVE A MIN. DEPTH OF 0.15m AND A MAX. DEPTH OF 0.35m.
 - THE PROPOSED SITE IS TO BE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING. CONSTRUCTION SHALL BE MAINTAINED TO PREVENT SOIL FROM BEING DISCHARGED OFF-PROPERTY OR INTO ADJACENT PROPERTY NOR RADIATE ANY SIDEWALK IMPASSABLE.
 - WHERE DOWNPOUTS ARE PROVIDED AND ARE NOT CONNECTED TO A SEWER, DOWNPOUTS SHALL BE PROVIDED TO DRAIN AWAY FROM THE BUILDING IN A MANNER THAT WILL PREVENT SOIL FROM BEING DISCHARGED OFF-PROPERTY OR INTO ADJACENT PROPERTY NOR RADIATE ANY SIDEWALK IMPASSABLE.
 - NO IN-CASE SHALL THE PROPOSED GRADING OR DRAINAGE CREATES FLOODING OR IMPROBING ON THE SITE, ADJACENT PROPERTIES OR RIGHTS-OF-WAY.
 - SUMP PUMPS (IF ANY) SHALL BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE AND BE MAINTAINED BY THE LANDOWNER OF THE PROPERTY AT HIS/HER EXPENSE.
 - RETAINING WALLS SHALL BE CONSTRUCTED SUCH THAT TERRACES IF REQUIRED, DO NOT ENDOUR ONTO THE ADJACENT PROPERTIES.
 - THE RETAINING WALL EXCEEDS 1.5m IN EXPOSED HEIGHT AND IS ADJACENT TO SPACE USED BY THE PUBLIC, ADJACENT TO ACCESS POINTS TO A BUILDING OR PRIVATE PROPERTY TO WHICH THE PUBLIC IS ADMITTED, A BUILDING PERMIT WILL BE REQUIRED. THE OWNER SHALL CONTACT THE CITY BUILDING DEPARTMENT TO DETERMINE THE REVIEW, CERTIFICATION, PERMIT USAGE, AND INSPECTION PROCESS.
 - EXISTING STORM AND SANITARY SERVICE CONNECTIONS SHALL BE ABANDONED BY CAPPING THE SERVICE LATERAL AT THE PROPERTY LINE AND BY DISCONNECTING THE SERVICE LATERAL AT THE OTHER END AND BY CAPPING AT THE MANHOLE. THE ABANDONED SERVICE CONNECTION SHALL BE CAPPED TO THE SATISFACTION OF THE CITY'S DIRECTOR OF ENGINEERING.
 - EXISTING WATER SERVICE CONNECTIONS (150mm AND 200mm) SHALL BE ABANDONED BY PLUGGING/CAPPING AT THE MAIN AND REMOVAL OF CURB BOX AT THE PROPERTY LINE. FOR CASES WHERE REMOVAL OF THE WATER SERVICE CONNECTIONS ARE REQUIRED, 600mm AND LARGER, THE WATER SERVICE CONNECTIONS SHALL BE PLUGGED/CAPPED AT THE MAIN AND THE SERVICE CONNECTIONS SHALL BE REMOVED FROM THE GROUND INCLUDING REMOVAL OF CURB BOX AT THE PROPERTY LINE.
 - THE LOCATION OF THE METER SHALL BE TO THE SATISFACTION OF THE CITY'S ENVIRONMENTAL SERVICE DEPARTMENT.
 - MIN. VERTICAL AND HORIZONTAL CLEARANCE BETWEEN SEWERS AND WATERMANS SHALL BE PROVIDED WITHIN THE CITY'S RIGHT-OF-WAY PER CITY STANDARDS.
 - THE MIN. DIAMETER OF A MUNICIPAL SANITARY AND STORM SERVICE CONNECTION FOR A RESIDENTIAL HOUSE IS 150mm.
 - WATER SERVICES SHALL BE INSTALLED WITH A MIN. OF 17.7m OF COVER FROM THE FINAL GRADE SURFACE. IN RURAL CROSS SECTIONS, THE MIN. COVER OF COVER FOR SERVICE CONNECTIONS SHALL BE MAINTAINED FROM THE TOP OF CONNECTION TO THE BOTTOM OF THE COVER. THE MIN. DIAMETER OF A WATER SERVICE CONNECTION IS 150mm.
 - FENCE INSTALLATION MUST COMPLY WITH THE REQUIREMENTS OF THE BY-LAW 272 (OF 2010) AND ANY REQUIRE A PERMIT FROM THE CITY (IF ANY IS AVAILABLE ONLINE AT <http://www.markham.ca>).
 - FOR THE CITY BY-LAW 272 (OF 2010), NO PERSON SHALL CONSTRUCT OR INSTALL A POOL, CAUSE OR PERMIT A POOL TO BE CONSTRUCTED OR OPERATED WITHIN THE CITY'S RIGHTS-OF-WAY UNLESS THE CITY HAS GRANTED A PERMIT IN WRITING. APPLICATIONS FOR SUCH PERMITS MUST BE SUBMITTED TO THE CITY'S OFFICE OF PLANNING AND DEVELOPMENT AT 0600 BAYVIEW AVENUE, MARKHAM, ONTARIO L3R 9V3 (PERMITTING).
 - THE OWNER SHALL OBTAIN REQUIRED PERMITS FROM THE CITY'S OPERATIONS DEPARTMENT BEFORE THE INSTALLATION OF ANY EXISTING BUILDINGS AND/OR REMOVAL OF ANY EXISTING PERMITS.
 - IF THERE ARE PROPOSED SERVICE CONNECTIONS, THE OWNER SHALL CONTACT THE CITY'S MUNICIPAL INSPECTIONS TO SCHEDULE AND PAY FOR THE PROPOSED SERVICE CONNECTIONS AND ANY REQUIRED DISCONNECTING OF THE EXISTING SERVICE CONNECTIONS. ALL IN-CASE CONFLICT WITH THE ACCEPTED DRAWINGS AND CITY SPECIFICATIONS, THE PROPOSED SERVICE CONNECTIONS SHALL BE CONSTRUCTED BY A CONTRACTOR REGISTERED BY THE CITY.
 - THE PROPOSED SERVICES ON PRIVATE PROPERTY REQUIRES PLUMBING APPROVAL UNDER THE ONTARIO BUILDING CODE AND ACCORDINGLY APPLICATION FOR THE NECESSARY PERMIT SHOULD BE MADE TO THE BUILDING STANDARDS DEPARTMENT IN THE CASE OF ANY CONFLICT BETWEEN THE DRAWINGS AND THE REQUIREMENT OF THE ONTARIO BUILDING CODE. THE BUILDING CODE SHALL PREVAIL.
 - CLAUSETS IF ANY, SHALL BE DESIGNED TO HAVE A MIN. COVER DEPTH OF 300mm PRIOR TO COMMENCING ANY OF THE WORKS. THE OWNER SHALL OBTAIN A CLAUSET MODIFICATION PERMIT FROM THE CITY'S OPERATIONS DEPARTMENT FOR ANY MODIFICATIONS TO EXISTING CLAUSETS. THE PERMIT CAN BE OBTAINED FROM THE CITY'S WEBSITE AT <http://www.markham.ca>.
 - THE LIMITS OF CONSTRUCTION WITHIN THE CITY'S RIGHTS-OF-WAY ARE AT THE DISCRETION OF THE CITY OPERATIONS DEPARTMENT AND WILL BE DETERMINED DURING THE ROAD OCCUPANCY PERMIT.
 - ROAD RESTORATION SHALL BE AS PER THE CITY'S STANDARD MANUAL.
 - PRIOR TO THE START OF CONSTRUCTION ON SITE THE FOLLOWING ARE REQUIRED:
 - ARRANGE AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE CITY'S MUNICIPAL INSPECTIONS AT THE COMMENCEMENT OF ANY ON-SITE SERVICES WORK CONTACT MARKHAM MUNICIPAL INSPECTIONS AT (905) 470-3287.
 - OBTAIN A BUILDING PERMIT FROM THE CITY'S BUILDING STANDARDS DEPARTMENT.
 - OBTAIN A ROAD OCCUPANCY PERMIT FROM THE CITY OPERATIONS DEPARTMENT AT 0600 BAYVIEW AVENUE, MARKHAM, ONTARIO L3R 9V3 (PERMITTING).
 - THE OWNER SHALL OBTAIN REQUIRED PERMITS FROM THE CITY'S OPERATIONS DEPARTMENT BEFORE THE INSTALLATION OF ANY EXISTING BUILDINGS AND/OR REMOVAL OF ANY EXISTING PERMITS.

ENGINEERING DEPARTMENT, CITY OF MARKHAM

MARKHAM GENERAL NOTES FOR INFILL RESIDENTIAL DEVELOPMENT

REV. 3 FEB. 2022
 MR35BB
 N.T.S.

SITE STATISTICS

MUNICIPAL ADDRESS	21 Ridgevale Dr Markham, ON L6B 1A8			
ZONING	RES-ENLR (RESIDENTIAL ESTABLISHED NEIGHBOURHOOD LOWRISE)			
LOT AREA	4248.22 m ²	45727.39 ft ²	ESTABLISHED GRADE:	159.31 158.96 159.14
ZONING INFORMATION	PERMITTED		PROPOSED	
	(metre)	(feet)	(metre)	(feet)
FRONTAGE (MIN.)	51.21	167.97	EXISTING TO REMAIN	
FRONT YARD SETBACK	7.50	91.74		
EXTERIOR SIDE YARD SETBACK	1.80	5.90		
INTERIOR SIDE YARD SETBACK	1.80	5.90		
REAR YARD SETBACK	7.50	24.60		
BUILDING HEIGHT	10.00	32.80		
LOT COVERAGE	PROPOSED			
	(m ²)	(ft ²)		
BASEMENT FLOOR	352.76	3797.07	EBL	26.52 29.42 27.97
BASEMENT WALK OUT	9.59	103.23		
FRONT PORCH	6.86	73.84		
FIRST FLOOR	329.90	3551.01		
SUNROOM	14.96	161.03		
GARAGE & STORAGE	85.42	919.45		
SECOND FLOOR	229.15	2466.55		
COVID REAR TERRACE	33.24	357.79		
OPEN TERRACE	23.94	257.69		
SIDE-REAR TERRACE -SECOND FLOOR	83.20	895.56		
TOTAL LOT COVERAGE	11.70%	497.05 5350.20		
MAX PERMITTED LOT COVERAGE	35.00%	1486.88 16004.59		



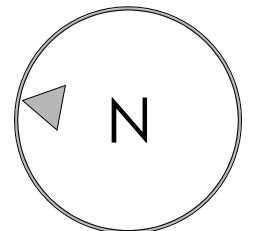
NO.	DESCRIPTION	DATE
1	ISSUED FOR SHOP DRAWINGS	07-10-2024
2	RE ISSUED FOR SHOP DRAWINGS	08-15-2024
3	RE ISSUED FOR SHOP DRAWINGS	08-28-2024
4	ISSUED FOR PERMIT	11-08-2024
5	RE ISSUED FOR PERMIT	04-05-2025
6	RE ISSUED FOR PERMIT	05-22-2025
7	RE ISSUED FOR PERMIT	06-06-2025
8	RE ISSUED FOR PERMIT	06-13-2025

NOTES:
 DRAWINGS MUST NOT BE SCALED
 DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES AND THE O.B.C.
 ALL DRAWINGS & INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED & VERIFIED ON SITE PRIOR TO CONSTRUCTION OR FABRICATION OF ITS COMPONENTS. UNLESS NOTED OTHERWISE, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION.
 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL NECESSARY BRACING, SHORING, SHEET PILING, OR OTHER TEMPORARY SUPPORTS, TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY CONSTRUCTION. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.
 ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT / DESIGNER & MUST BE RETURNED UPON REQUEST.

SENSUS DESIGN STUDIO
 DESIGN | INTERIORS | CONSTRUCTION

1315 LAWRENCE AVE EAST, TORONTO ON
 UNIT # 510
 PHONE: 416-919-1433
 EMAIL: jesse@sensusedesignbuild.ca
 www.sensusedesignbuild.ca

PROFESSIONAL STAMPS:



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements setout in the Ontario Building Code to be a designer.

Qualification Information
 Required unless design is exempt under Div. C - 3.2.5 of the Building Code

JESSE SAHLANI 44549
 NAME B.C.I.N.
 SENSUS DESIGN & BUILD INC. 123494
 FIRM B.C.I.N.

PROPOSED SINGLE FAMILY DWELLING UNIT

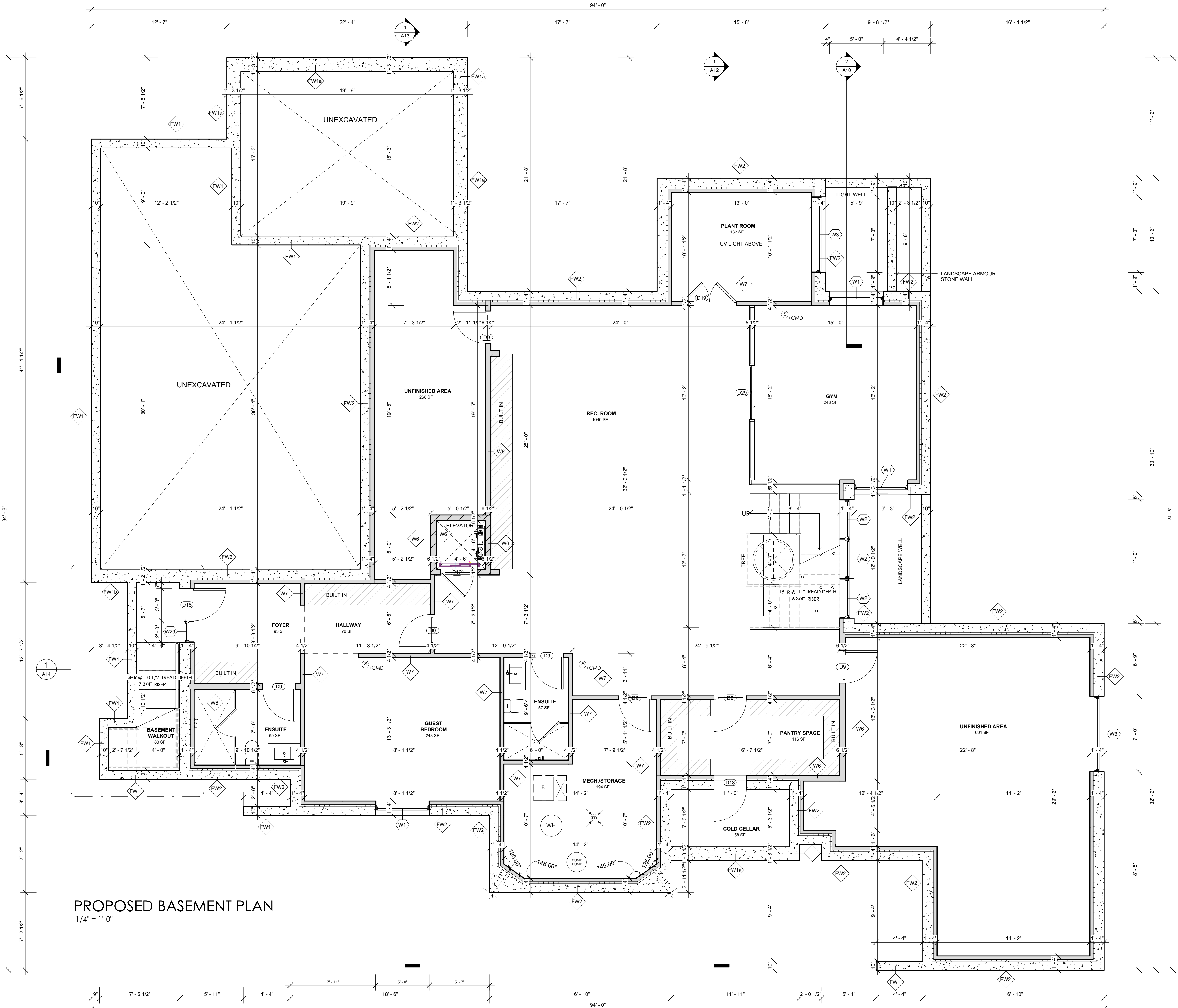
21 Ridgevale Dr Markham, ON L6B 1A8

SHEET TITLE:

PROPOSED SITE PLAN

DRAWN BY: SVP SHEET No.
 CHECKED BY: JS
 DATE: 06-06-2025
 SCALE: AS SHOWN **.SP1.**

PROPOSED SITEPLAN
 1/16" = 1'-0"



PROPOSED BASEMENT PLAN
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR SHOP DRAWINGS	07-10-2024
2	RE ISSUED FOR SHOP DRAWINGS	08-15-2024
3	RE ISSUED FOR SHOP DRAWINGS	08-28-2024
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5	RE ISSUED FOR PERMIT	04-05-2025
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7	RE ISSUED FOR PERMIT	06-06-2025
8	RE ISSUED FOR PERMIT	06-13-2025

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SENSUS
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DESIGN | INTERIORS | CONSTRUCTION

1315 LAWRENCE AVE EAST, TORONTO ON
UNIT # S10
PHONE: 416-919-1433
EMAIL: jesse@sensusdesignbuild.ca
www.sensusdesignbuild.ca

PROFESSIONAL STAMPS:

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Qualification Information
Required unless design is exempt under Div. C - 3.2.5 of the Building Code

JESSE SAHLANI 44549
NAME B.C.I.N.

SENSUS DESIGN & BUILD INC. 123494
FIRM B.C.I.N.

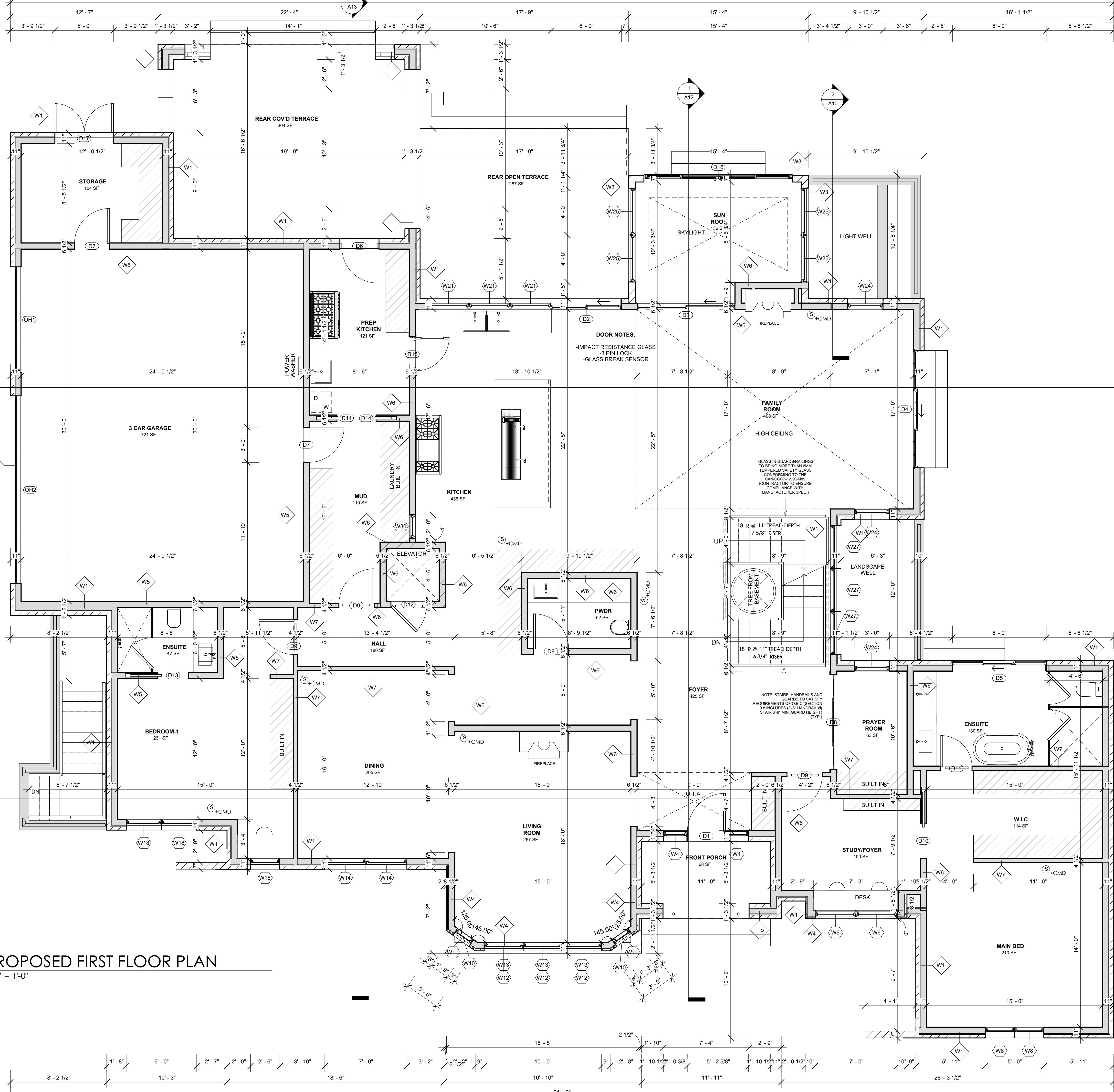
PROPOSED SINGLE FAMILY DWELLING UNIT

21 Ridgevale Dr, Markham, ON L6B 1A8

SHEET TITLE:

PROPOSED BASEMENT FLOOR PLAN

DRAWN BY: SVP	SHEET No.
CHECKED BY: JS	
DATE: 06-06-2025	
SCALE: AS SHOWN	A2



PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	ISSUED FOR SHOP DRAWINGS	07-10-2024
2	RE ISSUED FOR SHOP DRAWINGS	08-15-2024
3	RE ISSUED FOR SHOP DRAWINGS	08-28-2024
4	ISSUED FOR PERMIT	11-08-2024
5	RE ISSUED FOR PERMIT	04-05-2025
6	RE ISSUED FOR PERMIT	05-22-2025
7	RE ISSUED FOR PERMIT	06-06-2025
8	RE ISSUED FOR PERMIT	06-13-2025

NOTES:
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DRAWINGS TO BE READ IN CONJUNCTION WITH THE GENERAL NOTES AND THE O.B.C.

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SENSUS
DESIGN STUDIO
DESIGN | INTERIORS | CONSTRUCTION

1315 LAWRENCE AVE EAST, TORONTO ON
UNIT # S10
PHONE: 416-919-1433
EMAIL: jesse@sensusdesignbuild.ca
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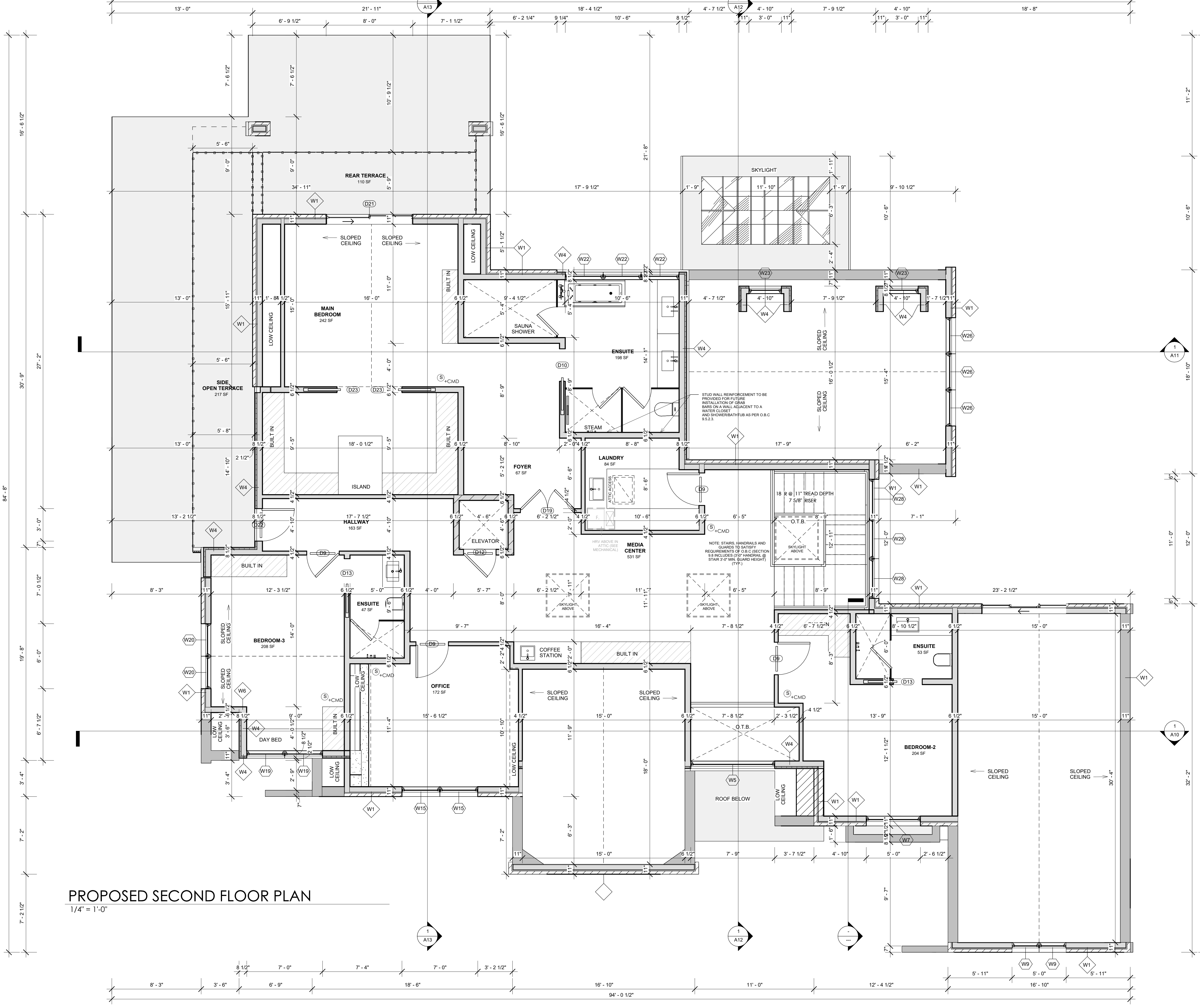
PROPOSED SINGLE FAMILY DWELLING UNIT

21 Ridgevale Dr, Markham, ON L6B 1A8

PROPOSED FIRST FLOOR PLAN

DRAWN BY: SVP SHEET No.
CHECKED BY: JS
DATE: 06-06-2025
SCALE: AS SHOWN

A3



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

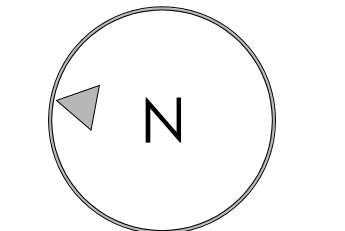
NO.	DESCRIPTION	DATE
1	ISSUED FOR SHOP DRAWINGS	07-10-2024
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 FIRM B.C.I.N.

PROPOSED SINGLE FAMILY DWELLING UNIT

21 Ridgevale Dr, Markham, ON L6B 1A8

SHEET TITLE:

PROPOSED SECOND FLOOR PLAN

DRAWN BY: SVP SHEET No.
 CHECKED BY: JS
 DATE: 06-06-2025
 SCALE: AS SHOWN **A4**

LEGEND	
	SHADED AREA DENOTE LOW SLOPE ROOF AREAS TO HAVE CONTINUOUS EPM ROOFING MEMBRANE INSTALLED PER MANUF. GUIDELINES
	35 YEAR FIBREGLASS SHINGLES (TYPICAL)
	SHADED AREA DENOTE LOW SLOPE ROOF AREAS TO HAVE CONTINUOUS EPM ROOFING MEMBRANE INSTALLED PER MANUF. GUIDELINES
	SECOND FLOOR WALL BELOW
	FIRST FLOOR WALL BELOW

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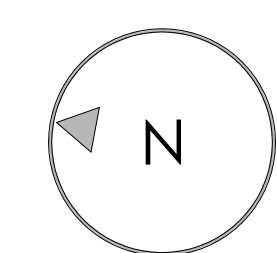
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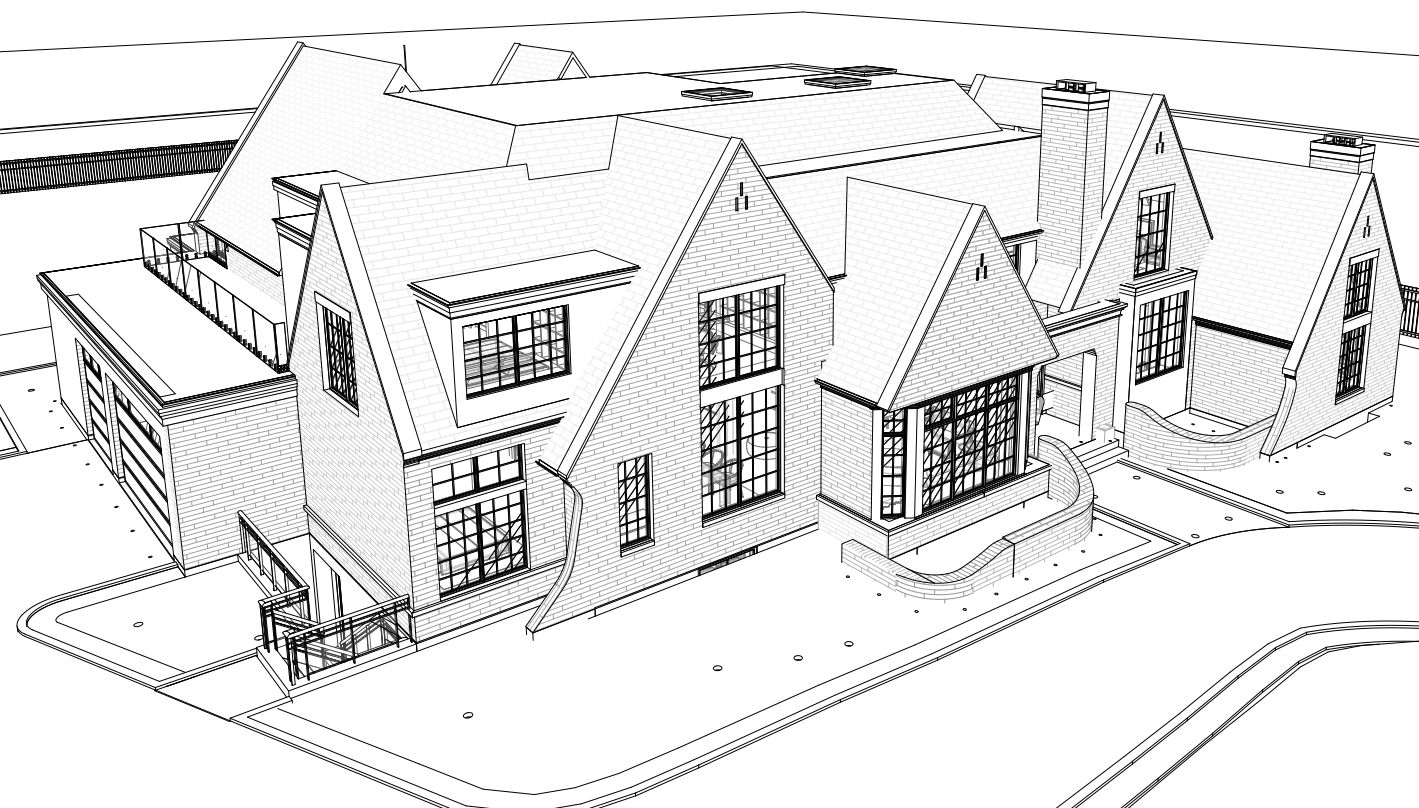
PROPOSED SINGLE FAMILY DWELLING UNIT

21 Ridgevale Dr, Markham, ON L6B 1A8

SHEET TITLE:

PROPOSED ROOF PLAN

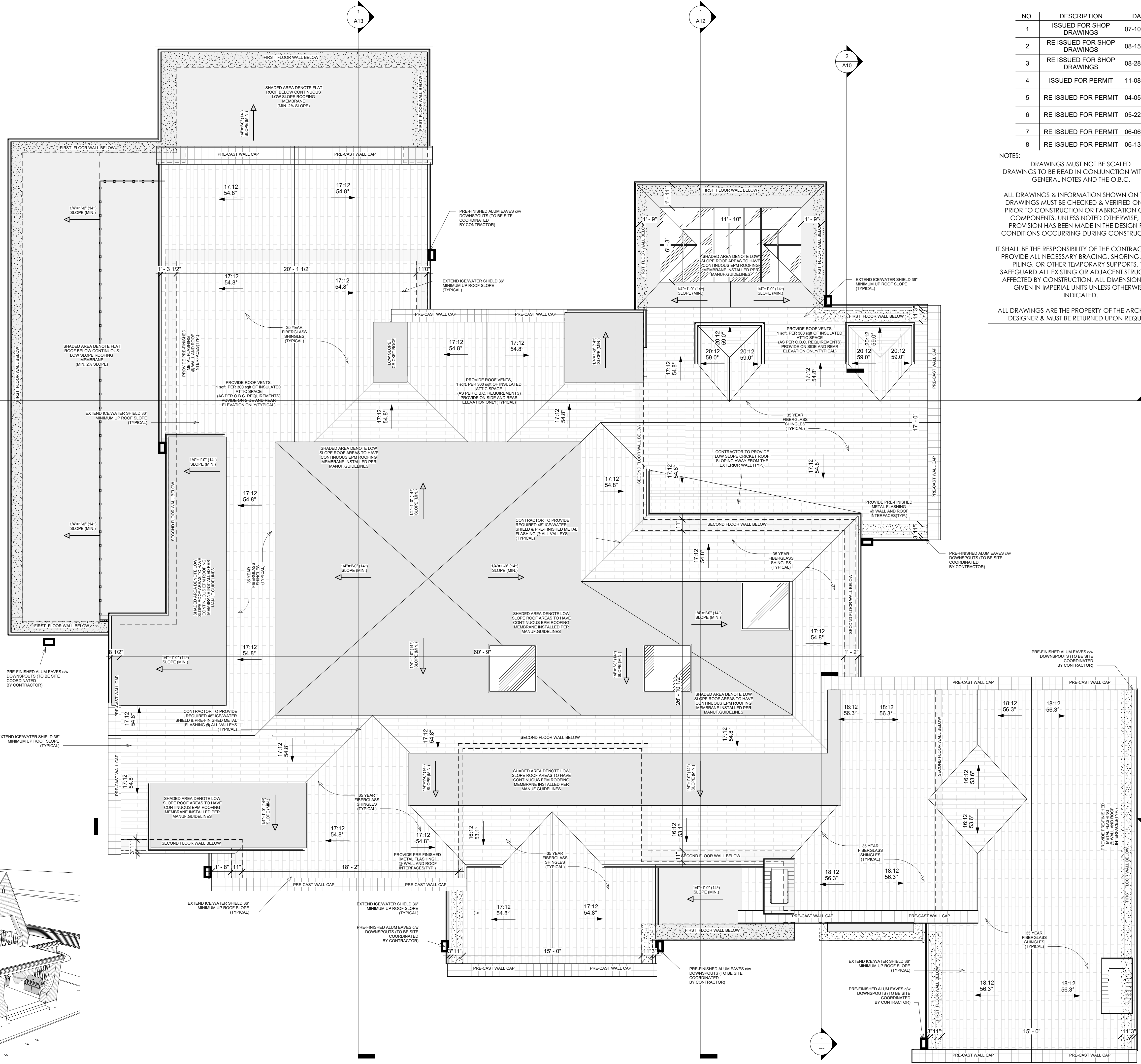
DRAWN BY: SVP SHEET No.
CHECKED BY: JS
DATE: 06-06-2025
SCALE: AS SHOWN **A5**



FRONT TOP PERSPECTIVE



REAR TOP PERSPECTIVE



PROPOSED ROOF PLAN

1/4" = 1'-0"

DOOR SCHEDULE				
DOOR TAG	WIDTH	HEIGHT	DESCRIPTION	Count
D1	3'-3"	8'-0"	SINGLE WOOD DOOR W/ WEATHER TIGHT SEAL	1
D2	6'-0"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D3	8'-4"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D4	10'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D5	8'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D6	3'-0"	8'-8"	SINGLE GLASS DOOR W/ WEATHER TIGHT SEAL	1
D7	3'-0"	8'-0"	SINGLE WOOD DOOR C/W SELF CLOSING MECH.	2
D8	8'-0"	8'-0"	4 PANEL WOOD SLIDING DOOR	1
D9	3'-0"	8'-0"	INTERIOR WOOD DOOR	15
D10	3'-0"	8'-0"	INTERIOR POCKET DOOR	2
D11	2'-8"	7'-0"	INTERIOR WOOD DOOR	1
D12	3'-0"	8'-0"	INTERIOR WOOD DOOR - ELEVATOR	3
D13	2'-8"	8'-0"	INTERIOR POCKET DOOR	3
D14	1'-8"	8'-0"	INTERIOR POCKET DOOR	2
D15	3'-0"	9'-0"	INTERIOR FRENCH GLASS DOOR - (SEE I. D.)	1
D16	12'-8"	9'-0"	4 PANEL GLASS SLIDING DOOR - SUNROOM	1
D17	5'-0"	9'-0"	EXTERIOR DOUBLE WOOD DOOR W/ WEATHER TIGHT SEAL	1
D18	3'-0"	8'-0"	EXTERIOR WOOD DOOR c/w WEATHER TIGHT SEAL	2
D19	5'-0"	8'-0"	INTERIOR DOUBLE WOOD DOOR	2
D21	8'-0"	8'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D22	3'-0"	8'-0"	INTERIOR WOOD DOOR	1
D23	3'-0"	8'-0"	INTERIOR POCKET DOOR	2
D29	5'-0"	8'-0"	INTERIOR GLASS SLIDING DOOR IN GLASS SYSTEM	1
OH1	9'-0"	9'-0"	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER	1
OH2	16'-0"	9'-0"	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER	1

NOTE:
 1. ALL DOOR ARE PLACED MIN 6" FROM ADJACENT WALL OR CENTER OF THE WALL OR AS NOTED IN FLOOR PLAN (TYP.)
 2. ALL FLOOR TO CEILING DOOR OPENING TO BE SITE VERIFY BEFORE PRODUCTION.
 3. ANY MAJOR DISCREPANCIES SHOULD BE REPORTED TO SENSUS DESIGN STUDIO.
 4. USE DOOR AND WINDOW SCHEDULES IN REFERENCE TO FLOOR PLANS & ELEVATIONS.

WINDOW SCHEDULE						
WINDOW TAG	WINDOW SPEC		COMMENTS	SILL HEIGHT	HEAD HEIGHT	COUNT
	WIDTH	HEIGHT				
S1	4'-0"	4'-0"	SKYLIGHT WINDOW			3
W1	5'-0"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	3
W2	3'-8"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	3
W3	7'-0"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	2
W4	2'-0"	6'-0"	FIXED SIDELITE WINDOW- MAIN DOOR	2'-0"	8'-0"	2
W5	7'-9"	4'-0"	FIXED WINDOW	0'-0"	4'-0"	1
W6	3'-6"	7'-0"	OPERABLE WINDOW	3'-0"	10'-0"	2
W7	5'-0"	7'-0"	OPERABLE WINDOW	0'-6"	7'-6"	1
W8	2'-6"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	2
W9	5'-0"	5'-0"	FIXED TRANSOM WINDOW	8'-0"	13'-0"	2
W10	1'-8"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	2
W11	2'-0"	2'-0"	FIXED TRANSOM WINDOW	7'-0"	9'-0"	2
W12	3'-4"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	3
W13	2'-0"	6'-0"	FIXED TRANSOM WINDOW	7'-0"	9'-0"	3
W14	3'-6"	8'-0"	OPERABLE WINDOW	2'-0"	10'-0"	2
W15	3'-6"	6'-0"	OPERABLE WINDOW	0'-0"	6'-0"	2
W16	2'-6"	6'-0"	OPERABLE WINDOW	2'-0"	8'-0"	1
W17	3'-0"	5'-6"	OPERABLE WINDOW	1'-0"	6'-6"	2
W18	3'-0"	2'-6"	FIXED TRANSOM WINDOW	7'-0"	9'-6"	2
W19	3'-6"	4'-6"	OPERABLE WINDOW	2'-0"	6'-6"	2
W20	3'-0"	6'-0"	OPERABLE WINDOW	0'-0"	6'-0"	2
W21	3'-6"	5'-6"	OPERABLE WINDOW	3'-6"	9'-0"	3
W22	3'-6"	5'-0"	OPERABLE WINDOW	2'-6"	7'-6"	3
W23	3'-0"	3'-3"	FIXED WINDOW	3'-0"	6'-3"	2
W24	3'-0"	9'-0"	PARTIAL OPERABLE WINDOW	0'-0"	9'-0"	3
W25	4'-0"	9'-0"	FIXED WINDOW	0'-0"	9'-0"	4
W26	3'-4"	4'-6"	FIXED WINDOW	10'-0"	14'-6"	3
W27	3'-8"	10'-0"	FIXED WINDOW	0'-0"	10'-0"	3
W28	3'-8"	7'-0"	OPERABLE WINDOW	0'-0"	7'-0"	3
W29	2'-0"	8'-0"	FIXED SIDELITE WINDOW- WALKOUT DOOR	0'-0"	8'-0"	1
W30	2'-0"	5'-10"	OPERABLE WINDOW- INTERIOR KITCHEN	3'-2"	9'-0"	1

NO.	DESCRIPTION	DATE
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 FIRM B.C.I.N.

PROPOSED SINGLE FAMILY DWELLING UNIT
 21 Ridgevale Dr, Markham, ON L6B 1A8
 SHEET TITLE:
PROPOSED FRONT ELEVATION

PROPOSED FRONT ELEVATION
 1/4" = 1'-0"

DRAWN BY: SVP SHEET No.
 CHECKED BY: JS
 DATE: 06-06-2025
 SCALE: AS SHOWN **A6**

DOOR SCHEDULE				
DOOR TAG	WIDTH	HEIGHT	DESCRIPTION	Count
D1	3'-3"	8'-0"	SINGLE WOOD DOOR W/ WEATHER TIGHT SEAL	1
D2	6'-0"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D3	8'-4"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D4	10'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D5	8'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D6	3'-0"	8'-8"	SINGLE GLASS DOOR W/ WEATHER TIGHT SEAL	1
D7	3'-0"	8'-0"	SINGLE WOOD DOOR C/W SELF CLOSING MECH.	2
D8	8'-0"	8'-0"	4 PANEL WOOD SLIDING DOOR	1
D9	3'-0"	8'-0"	INTERIOR WOOD DOOR	15
D10	3'-0"	8'-0"	INTERIOR POCKET DOOR	2
D11	2'-8"	7'-0"	INTERIOR WOOD DOOR	1
D12	3'-0"	8'-0"	INTERIOR WOOD DOOR - ELEVATOR	3
D13	2'-8"	8'-0"	INTERIOR POCKET DOOR	3
D14	1'-8"	8'-0"	INTERIOR POCKET DOOR	2
D15	3'-0"	9'-0"	INTERIOR FRENCH GLASS DOOR - (SEE I. D.)	1
D16	12'-8"	9'-0"	4 PANEL GLASS SLIDING DOOR - SUNROOM	1
D17	5'-0"	9'-0"	EXTERIOR DOUBLE WOOD DOOR W/ WEATHER TIGHT SEAL	1
D18	3'-0"	8'-0"	EXTERIOR WOOD DOOR c/w WEATHER TIGHT SEAL	2
D19	5'-0"	8'-0"	INTERIOR DOUBLE WOOD DOOR	2
D21	8'-0"	8'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D22	3'-0"	8'-0"	INTERIOR WOOD DOOR	1
D23	3'-0"	8'-0"	INTERIOR POCKET DOOR	2
D29	5'-0"	8'-0"	INTERIOR GLASS SLIDING DOOR IN GLASS SYSTEM	1
OH1	9'-0"	9'-0"	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER	1
OH2	16'-0"	9'-0"	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER	1

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WINDOW SCHEDULE						
WINDOW TAG	WINDOW SPEC		COMMENTS	SILL HEIGHT	HEAD HEIGHT	COUNT
	WIDTH	HEIGHT				
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W2	3'-8"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	3
W3	7'-0"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	2
W4	2'-0"	6'-0"	FIXED SIDELITE WINDOW- MAIN DOOR	2'-0"	8'-0"	2
W5	7'-9"	4'-0"	FIXED WINDOW	0'-0"	4'-0"	1
W6	3'-6"	7'-0"	OPERABLE WINDOW	3'-0"	10'-0"	2
W7	5'-0"	7'-0"	OPERABLE WINDOW	0'-6"	7'-6"	1
W8	2'-6"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	2
W9	2'-6"	5'-0"	FIXED TRANSOM WINDOW	8'-0"	13'-0"	2
W10	1'-8"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	2
W11	1'-8"	2'-0"	FIXED TRANSOM WINDOW	7'-0"	9'-0"	2
W12	3'-4"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	3
W13	3'-4"	2'-0"	FIXED TRANSOM WINDOW	7'-0"	9'-0"	3
W14	3'-6"	8'-0"	OPERABLE WINDOW	2'-0"	10'-0"	2
W15	3'-6"	6'-0"	OPERABLE WINDOW	0'-0"	6'-0"	2
W16	2'-6"	6'-0"	OPERABLE WINDOW	2'-0"	8'-0"	1
W17	3'-0"	5'-6"	OPERABLE WINDOW	1'-0"	6'-6"	2
W18	3'-0"	2'-6"	FIXED TRANSOM WINDOW	7'-0"	9'-6"	2
W19	3'-6"	4'-6"	OPERABLE WINDOW	2'-0"	6'-6"	2
W20	3'-0"	6'-0"	OPERABLE WINDOW	0'-0"	6'-0"	2
W21	3'-6"	5'-6"	OPERABLE WINDOW	3'-6"	9'-0"	3
W22	3'-6"	5'-0"	OPERABLE WINDOW	2'-6"	7'-6"	3
W23	3'-0"	3'-3"	FIXED WINDOW	3'-0"	6'-3"	2
W24	3'-0"	9'-0"	PARTIAL OPERABLE WINDOW	0'-0"	9'-0"	3
W25	4'-0"	9'-0"	FIXED WINDOW	0'-0"	9'-0"	4
W26	3'-4"	4'-6"	FIXED WINDOW	10'-0"	14'-6"	3
W27	3'-8"	10'-0"	FIXED WINDOW	0'-0"	10'-0"	3
W28	3'-8"	7'-0"	OPERABLE WINDOW	0'-0"	7'-0"	3
W29	2'-0"	8'-0"	FIXED SIDELITE WINDOW- WALKOUT DOOR	0'-0"	8'-0"	1
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SENSUS
 DESIGN STUDIO
 DESIGN | INTERIORS | CONSTRUCTION
 1315 LAWRENCE AVE EAST, TORONTO ON
 UNIT # 510
 PHONE: 416-919-1433
 EMAIL: jesse@sensusedesignbuild.ca
 www.sensusedesignbuild.ca

PROFESSIONAL STAMPS:

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements setout in the Ontario Building Code to be a designer.
 Qualification Information
 Required unless design is exempt under Div. C - 3.2.5 of the Building Code
 JESSE SAHLANI 44549
 NAME B.C.I.N.
 SENSUS DESIGN & BUILD INC. 123494
 FIRM B.C.I.N.

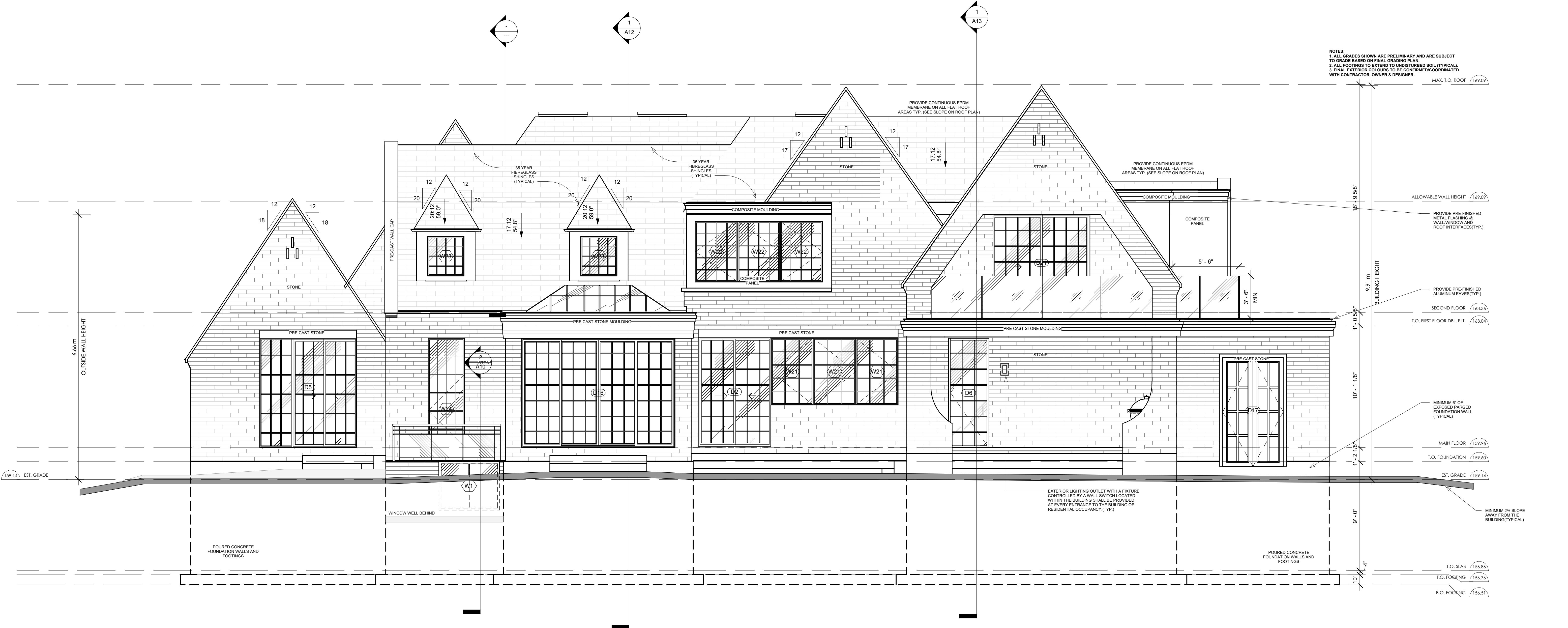
PROPOSED SINGLE FAMILY DWELLING UNIT

21 Ridgevale Dr, Markham, ON L6B 1A8

SHEET TITLE:

PROPOSED REAR ELEVATION

DRAWN BY: SVP SHEET No.
 CHECKED BY: JS
 DATE: 06-06-2025
 SCALE: AS SHOWN **A7**



PROPOSED REAR ELEVATION
 1/4" = 1'-0"

DOOR SCHEDULE				
DOOR TAG	WIDTH	HEIGHT	DESCRIPTION	Count
D1	3'-3"	8'-0"	SINGLE WOOD DOOR W/ WEATHER TIGHT SEAL	1
D2	6'-0"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D3	8'-4"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D4	10'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D5	8'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D6	3'-0"	8'-8"	SINGLE GLASS DOOR W/ WEATHER TIGHT SEAL	1
D7	3'-0"	8'-0"	SINGLE WOOD DOOR C/W SELF CLOSING MECH.	2
D8	8'-0"	8'-0"	4 PANEL WOOD SLIDING DOOR	1
D9	3'-0"	8'-0"	INTERIOR WOOD DOOR	15
D10	3'-0"	8'-0"	INTERIOR POCKET DOOR	2
D11	2'-8"	7'-0"	INTERIOR WOOD DOOR	1
D12	3'-0"	8'-0"	INTERIOR WOOD DOOR - ELEVATOR	3
D13	2'-8"	8'-0"	INTERIOR POCKET DOOR	3
D14	1'-8"	8'-0"	INTERIOR POCKET DOOR	2
D15	3'-0"	9'-0"	INTERIOR FRENCH GLASS DOOR - (SEE I. D.)	1
D16	12'-8"	9'-0"	4 PANEL GLASS SLIDING DOOR - SUNROOM	1
D17	5'-0"	9'-0"	EXTERIOR DOUBLE WOOD DOOR W/ WEATHER TIGHT SEAL	1
D18	3'-0"	8'-0"	EXTERIOR WOOD DOOR c/w WEATHER TIGHT SEAL	2
D19	5'-0"	8'-0"	INTERIOR DOUBLE WOOD DOOR	2
D21	8'-0"	8'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D22	3'-0"	8'-0"	INTERIOR WOOD DOOR	1
D23	3'-0"	8'-0"	INTERIOR POCKET DOOR	2
D29	5'-0"	8'-0"	INTERIOR GLASS SLIDING DOOR IN GLASS SYSTEM	1
OH1	9'-0"	9'-0"	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER	1
OH2	16'-0"	9'-0"	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER	1

NOTE:
 1. ALL DOOR ARE PLACED MIN 6" FROM ADJACENT WALL OR CENTER OF THE WALL OR AS NOTED IN FLOOR PLAN (TYP.)
 2. ALL FLOOR TO CEILING DOOR OPENING TO BE SITE VERIFY BEFORE PRODUCTION.
 3. ANY MAJOR DISCREPANCIES SHOULD BE REPORTED TO SENSUS DESIGN STUDIO.
 4. USE DOOR AND WINDOW SCHEDULES IN REFERENCE TO FLOOR PLANS & ELEVATIONS.

WINDOW SCHEDULE						
WINDOW TAG	WINDOW SPEC		COMMENTS	SILL HEIGHT	HEAD HEIGHT	COUNT
	WIDTH	HEIGHT				
S1	4'-0"	4'-0"	SKYLIGHT WINDOW			3
W1	5'-0"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	3
W2	3'-8"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	3
W3	7'-0"	4'-0"	CAST IN PLACE SLIDING WINDOW	5'-0"	9'-0"	2
W4	2'-0"	6'-0"	FIXED SIDELITE WINDOW- MAIN DOOR	2'-0"	8'-0"	2
W5	7'-9"	4'-0"	FIXED WINDOW	0'-0"	4'-0"	1
W6	3'-6"	7'-0"	OPERABLE WINDOW	3'-0"	10'-0"	2
W7	5'-0"	7'-0"	OPERABLE WINDOW	0'-6"	7'-6"	1
W8	2'-6"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	2
W9	2'-6"	5'-0"	FIXED TRANSOM WINDOW	8'-0"	13'-0"	2
W10	1'-8"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	2
W11	1'-8"	2'-0"	FIXED TRANSOM WINDOW	7'-0"	9'-0"	2
W12	3'-4"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	3
W13	3'-4"	2'-0"	FIXED TRANSOM WINDOW	7'-0"	9'-0"	3
W14	3'-6"	8'-0"	OPERABLE WINDOW	2'-0"	10'-0"	2
W15	3'-6"	6'-0"	OPERABLE WINDOW	0'-0"	6'-0"	2
W16	2'-6"	6'-0"	OPERABLE WINDOW	2'-0"	8'-0"	1
W17	3'-0"	5'-6"	OPERABLE WINDOW	1'-0"	6'-6"	2
W18	3'-0"	2'-6"	FIXED TRANSOM WINDOW	7'-0"	9'-6"	2
W19	3'-6"	4'-6"	OPERABLE WINDOW	2'-0"	6'-6"	2
W20	3'-0"	6'-0"	OPERABLE WINDOW	0'-0"	6'-0"	2
W21	3'-6"	5'-6"	OPERABLE WINDOW	3'-6"	9'-0"	3
W22	3'-6"	5'-0"	OPERABLE WINDOW	2'-6"	7'-6"	3
W23	3'-0"	3'-3"	FIXED WINDOW	3'-0"	6'-3"	2
W24	3'-0"	9'-0"	PARTIAL OPERABLE WINDOW	0'-0"	9'-0"	3
W25	4'-0"	9'-0"	FIXED WINDOW	0'-0"	9'-0"	4
W26	3'-4"	4'-6"	FIXED WINDOW	10'-0"	14'-6"	3
W27	3'-8"	10'-0"	FIXED WINDOW	0'-0"	10'-0"	3
W28	3'-8"	7'-0"	OPERABLE WINDOW	0'-0"	7'-0"	3
W29	2'-0"	8'-0"	FIXED SIDELITE WINDOW- WALKOUT DOOR	0'-0"	8'-0"	1
W30	2'-0"	5'-10"	OPERABLE WINDOW- INTERIOR KITCHEN	3'-2"	9'-0"	1

NO.	DESCRIPTION	DATE
1	ISSUED FOR SHOP DRAWINGS	07-10-2024
2	RE ISSUED FOR SHOP DRAWINGS	08-15-2024
3	RE ISSUED FOR SHOP DRAWINGS	08-28-2024
4	ISSUED FOR PERMIT	11-08-2024
5	RE ISSUED FOR PERMIT	04-05-2025
6	RE ISSUED FOR PERMIT	05-22-2025
7	RE ISSUED FOR PERMIT	06-06-2025
8	RE ISSUED FOR PERMIT	06-13-2025

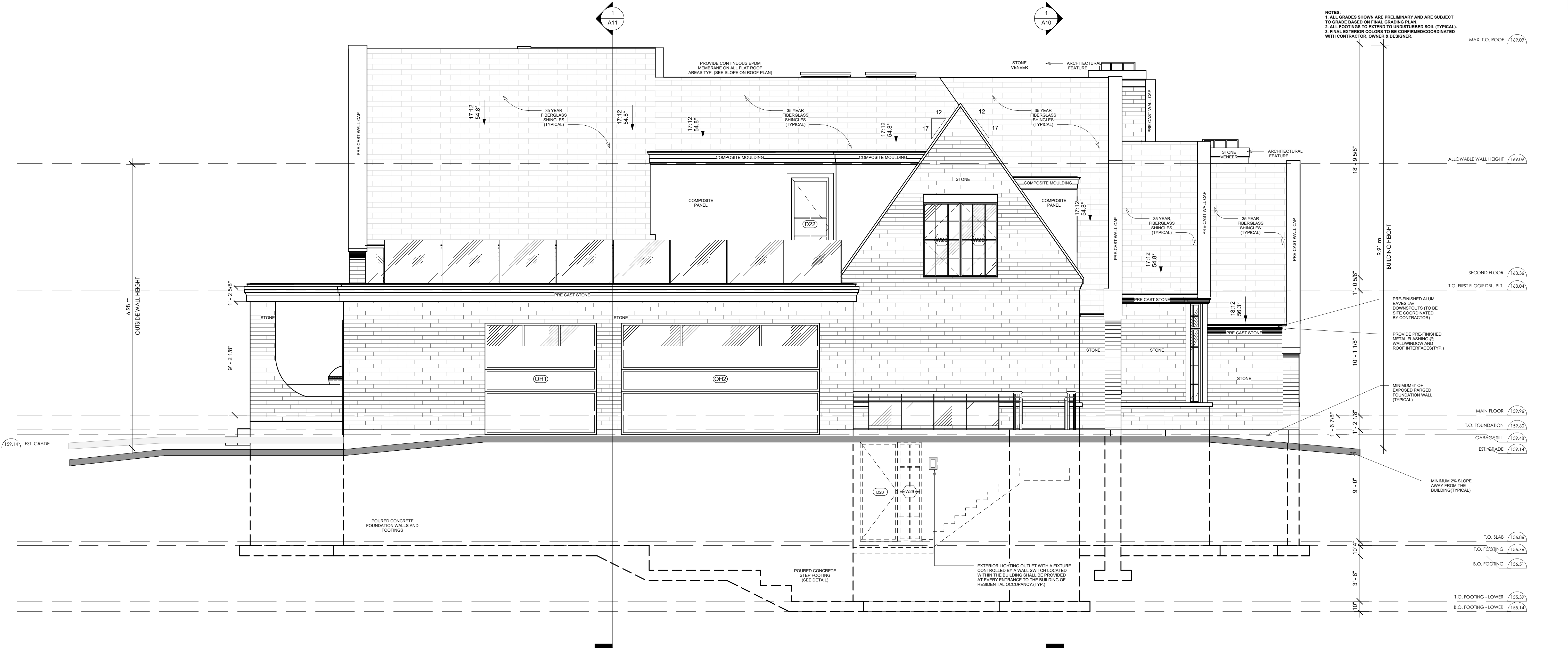
NOTES:
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1315 LAWRENCE AVE EAST, TORONTO ON UNIT # S10
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 EMAIL: jesse@sensusedesignbuild.ca
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PROFESSIONAL STAMPS:



PROPOSED LEFT ELEVATION
 1/4" = 1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 Qualification Information
 Required unless design is exempt under Div. C-3.2.5 of the Building Code

JESSE SAHLANI 44549
 NAME B.C.I.N.
 SENSUS DESIGN & BUILD INC. 123494
 FIRM B.C.I.N.

PROPOSED SINGLE FAMILY DWELLING UNIT

21 Ridgevale Dr, Markham, ON L6B 1A8

PROPOSED LEFT ELEVATION

DRAWN BY: SVP SHEET No.
 CHECKED BY: JS
 DATE: 06-06-2025
 SCALE: AS SHOWN A8

DOOR SCHEDULE				
DOOR TAG	WIDTH	HEIGHT	DESCRIPTION	Count
D1	3'-3"	8'-0"	SINGLE WOOD DOOR W/ WEATHER TIGHT SEAL	1
D2	6'-0"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D3	8'-4"	9'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D4	10'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D5	8'-0"	9'-0"	3 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D6	3'-0"	8'-8"	SINGLE GLASS DOOR W/ WEATHER TIGHT SEAL	1
D7	3'-0"	8'-0"	SINGLE WOOD DOOR C/W SELF CLOSING MECH.	2
D8	8'-0"	8'-0"	4 PANEL WOOD SLIDING DOOR	1
D9	3'-0"	8'-0"	INTERIOR WOOD DOOR	15
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D19	5'-0"	8'-0"	INTERIOR DOUBLE WOOD DOOR	2
D21	8'-0"	8'-0"	2 PANEL SLIDING EXTERIOR DOOR W/ WEATHER TIGHT SEAL	1
D22	3'-0"	8'-0"	INTERIOR WOOD DOOR	1
D23	3'-0"	8'-0"	INTERIOR POCKET DOOR	2
D29	5'-0"	8'-0"	INTERIOR GLASS SLIDING DOOR IN GLASS SYSTEM	1
OH1	9'-0"	9'-0"	OVERHEAD GARAGE DOOR c/w WEATHER TIGHT SEAL & POWER DOOR OPENER	1
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W4	2'-0"	6'-0"	FIXED SIDELITE WINDOW- MAIN DOOR	2'-0"	8'-0"	2
W5	7'-9"	4'-0"	FIXED WINDOW	0'-0"	4'-0"	1
W6	3'-6"	7'-0"	OPERABLE WINDOW	3'-0"	10'-0"	2
W7	5'-0"	7'-0"	OPERABLE WINDOW	0'-6"	7'-6"	1
W8	2'-6"	6'-0"	OPERABLE WINDOW	1'-0"	7'-0"	2
W9	5'-0"	5'-0"	FIXED TRANSOM WINDOW	8'-0"	13'-0"	2
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W13	2'-0"	3'-4"	FIXED TRANSOM WINDOW	7'-0"	9'-0"	3
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W30	2'-0"	5'-10"	OPERABLE WINDOW- INTERIOR KITCHEN	3'-2"	9'-0"	1

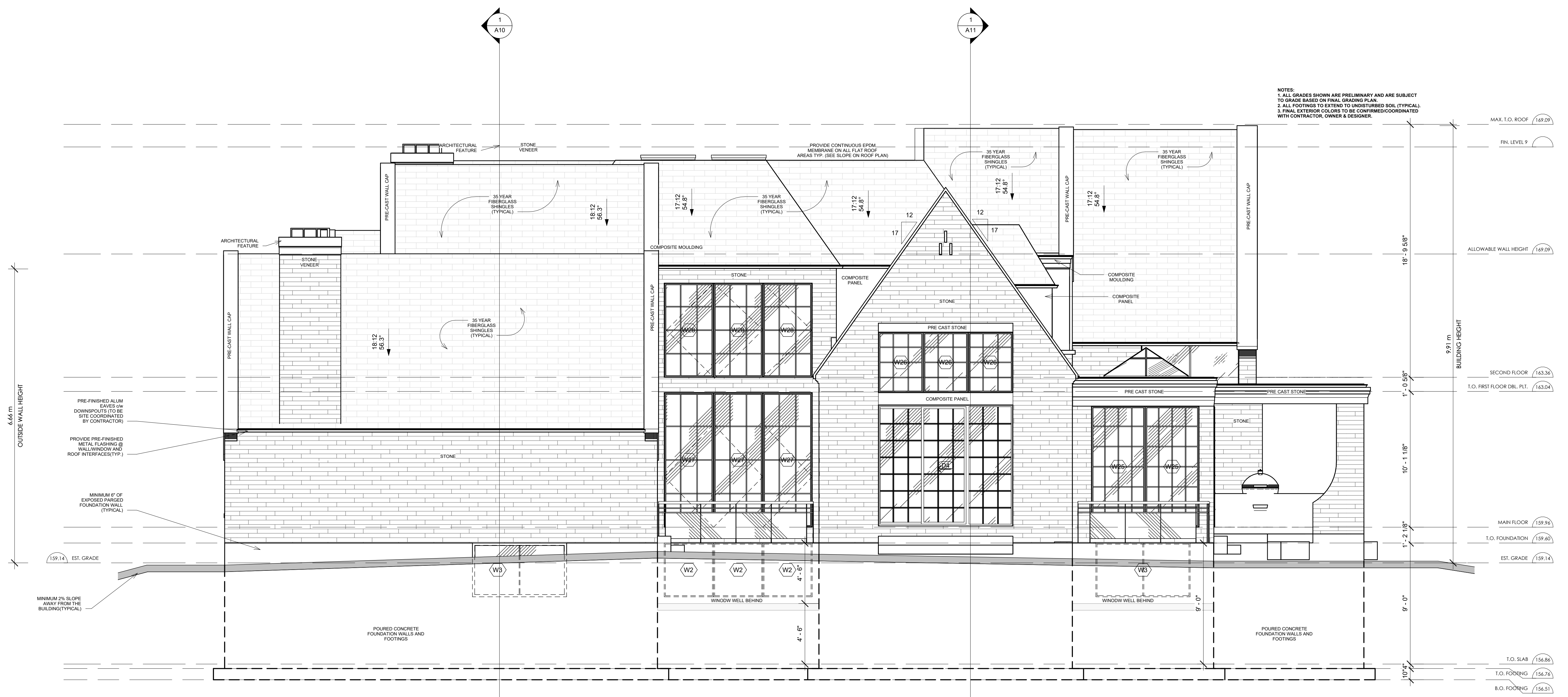
	UNPROTECTED OPENINGS - RIGHT ELEVATION		
	SF/SQ.M	964.54	89.61
TOTAL WALL AREA			
GLAZING AREA	SF/SQ.M	314.73	29.24
DISTANCE		11.12m	
PROVIDED U.O.		32.63%	
PERMITTED U.O.		34% (For 100 Sq.m)	

NO.	DESCRIPTION	DATE
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3	RE ISSUED FOR SHOP DRAWINGS	08-28-2024
4	ISSUED FOR PERMIT	11-08-2024
5	RE ISSUED FOR PERMIT	04-05-2025
6	RE ISSUED FOR PERMIT	05-22-2025
7	RE ISSUED FOR PERMIT	06-06-2025
8	RE ISSUED FOR PERMIT	06-13-2025

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 PHONE: 416-919-1433
 EMAIL: jesse@sensusedesignbuild.ca
 www.sensusedesignbuild.ca

PROFESSIONAL STAMPS:



NOTES:
 1. ALL GRADES SHOWN ARE PRELIMINARY AND ARE SUBJECT TO GRADE BASED ON FINAL GRADING PLAN.
 2. ALL FOOTINGS TO EXTEND TO UNDISTURBED SOIL (TYPICAL)
 3. FINAL EXTERIOR COLORS TO BE CONFIRMED/COORDINATED WITH CONTRACTOR, OWNER & DESIGNER.

PROPOSED RIGHT ELEVATION
 1/4" = 1'-0"

PROPOSED SINGLE FAMILY DWELLING UNIT

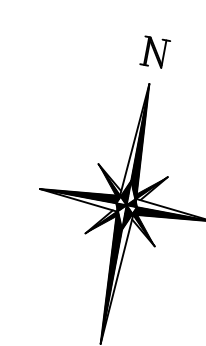
21 Ridgevale Dr, Markham, ON L6B 1A8

SHEET TITLE:

PROPOSED RIGHT ELEVATION

DRAWN BY: SVP SHEET No.
 CHECKED BY: JS
 DATE: 06-06-2025
 SCALE: AS SHOWN **A9**

SURVEYOR'S REAL PROPERTY REPORT AND TOPOGRAPHY OF
LOT 39
REGISTERED PLAN 6230
CITY OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK
 SCALE 1 : 200
GENESIS LAND SURVEYING INC.
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 THE REPRODUCTION, ALTERATION, OR USE OF THIS REPORT, IN WHOLE OR IN PART, WITHOUT THE EXPRESS PERMISSION OF GENESIS LAND SURVEYING INC. IS STRICTLY PROHIBITED.
METRIC NOTE
 DISTANCES & ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF MARKHAM BENCHMARK N W-37-003 WITH A PUBLISHED ELEVATION OF 161.555 METRES.
BEARING NOTE
 BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF RIDGEVALE DRIVE HAVING A BEARING OF N 12° 48' 00" W AS SHOWN ON REGISTERED PLAN 6230.



LEGEND	
□	DENOTES MONUMENT PLANTED
WT	WITNESS
IP	IRON PIPE
IB	IRON BAR
SSB	SHORT STANDARD IRON BAR
NI	NOT IDENTIFIED
R	REGISTERED PLAN N° R366767
RP	REGISTERED PLAN 6230
D	DOUGLAS H. BLACK, O.L.S.
729	SURVEYOR'S REAL PROPERTY REPORT BY R. C. McKEBBON LTD., O.L.S., DATED JANUARY 31, 2012
RM	PLAN OF SURVEY BY EDWARD C. CARTER, O.L.S., DATED MAY 15, 1967
P.I.N.	PROPERTY IDENTIFICATION NUMBER
N.S.E.W	NORTH, SOUTH, EAST, WEST
MEAS	MEASURED
PC	POINT OF CURVATURE
COL	COLUMN
S.W	STONE WALKWAY
WW	WINDOW WELL
UP	UTILITY POLE
OUH	OVERHEAD UTILITY CABLES
GW	GUY WIRE ANCHOR
CB	CATCH BASIN
MH	MANHOLE
DS/GS	DOOR/GARAGE SILL ELEVATION
TC/RC	TOP/BOTTOM OF CURB
INV	INVERT
OSV	OVERVERT
ICV	IRRIGATION CONTROL VALVE
AC	AIR CONDITIONING UNIT
FH	FIRE HYDRANT
Ø	DIAMETER
CT	CONFEROUS TREE
CT	CONFEROUS TREE
CSP	CORRUGATED STEEL PIPE

NOTE
 1. THIS PLAN MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED SEPTEMBER 21, 2021.
 2. THIS PLAN AND REPORT WERE PREPARED FOR DR. K. SHIVAKUMAR AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON SEPTEMBER 21, 2021.
 3. SURVEY AMENDED ON NOVEMBER 07, 2024 TO ILLUSTRATE ADDITIONAL TOPOGRAPHIC DETAIL ALONG ROADS AND ON NEIGHBOURING PROPERTIES.

SEPTEMBER 21, 2021
 DATE
 SCOTT DANZIEL
 ONTARIO LAND SURVEYOR

GENESIS
 Land Surveying Inc.
 10 FOUR SEASONS PLACE, 10TH FLOOR
 TORONTO, ON M5S 6H1
 T 416-469-2556 F 416-469-2558
 WWW.GENESISLANDSURVEYING.COM
 DRAFTED BY: BMR | CHECKED BY: SJO | PROJECT No. GLS-1048-2

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
 V-14521
 THIS PLAN IS NOT VALID UNLESS IT IS AN APPROVED ORIGINAL COPY ISSUED BY THE SURVEYOR
 In accordance with Regulation 1026, Section 28(3)